



# Village of Bellport

Board of Trustees Meeting – December 20, 2021  
beginning at 6:00PM

## A G E N D A

Bellport Village Community Center, 4 Bell Street, Executive Session beginning at 6:00PM  
This meeting is in-person and being live-streamed via Zoom

Executive Session begins at 6:00PM

Regular Session Open to the Public begins at 7:00PM

Call to Order, Pledge of Allegiance & Roll Call – All Present

- 1) Presentation: Certificate of Appreciation to Michael Perrone, upon his retirement for his 34 years, within the Department of Public Works, of dedicated service to our Bellport Village Community.

### **Open to the Public**

Report of the Trustees

Report of the Village Attorney

- 2) Resolution: \_\_\_\_ Approve the Board Meeting Minutes of November 22, 2021. (Exhibit 1)

- 3) Review and approve the following payments:

- Resolution: \_\_\_\_ Approve General Fund Checking Abstract Report #1. Consisting of 80 vendors:
  - a) General Fund Expenditures: \$356,809.44
  - b) Enterprise Fund Expenditures: \$ 86,246.95Totaling: \$443,056.39
- Resolution: \_\_\_\_ Approve the Enterprise Fund Checking Abstract Report #2, consisting of 20 vendors totaling: \$104,673.39
- Resolution: \_\_\_\_ Approve the Capital Browns & Dock Fund Checking Abstract Report #3, consisting of 1 vendor totaling: \$2,280.00

- See Financial Abstracts and Summary of Abstracts (Exhibit 2)
- 4) Review the 2022-2023 Budget Schedule as presented by Kelly Stumpo, Treasurer (Exhibit 3)
    - Total taxes collected through December 14, 2021: \$2,790,825 (98.16% of the budget).
  - 5) Resolution: \_\_\_\_ Approve the Budget Transfers as of December 20, 2021. (Exhibit 4)
  - 6) Discussion and Resolution: \_\_\_\_ Municipal Lease Proposal for a Code Vehicle with the \$50,000 Grant from NYS Assemblyman DiStefano, with the amount of \$18,734 leased over 3, 4, or 5, years, with payment options of \$560.80, \$425.26, \$343.92, respectively. (Exhibit 4A)
  - 7) Resolution \_\_\_\_ Accept and Approve the resignation of Michael Perrone who has worked for the Village for 34 years. Retirement effective date is 12/30/21 (Exhibit 5)
  - 8) Resolution \_\_\_\_ Approve a donation from Elizabeth Carey (Mary Sanford's Family) in the amount of \$500 for the Senior Program. (Exhibit 6)
  - 9) Resolution \_\_\_\_ Approve the Change Order to the Kitzen Contract for the Browns Lane Bulkhead Replacement and Main Dock Refacing Project (Exhibit 6)
  - 10) Resolution: \_\_\_\_ The status of the Pavilion (State of Emergency) and the options:
    1. Removal of the Pavilion from Fire Island
    2. Moving of the Pavilion to a location, with the final solution to be determined at a later date
    3. Moving the Pavilion to the permitted location, between the "Rest Area" and "Burma Road."
    4. Other thoughts and proposals (Exhibit 7)
  - 11) Resolution \_\_\_\_ . Accept and Approve the Government Advocacy Agreement Renewal with Davidoff, Hutcher and Citron (DHC) from January 1, 2021 to May 31, 2022, with no change to the monthly fee of \$5,000.
  - 12) Resolution \_\_\_\_ . Accept and approve the Bellport Village Record Retention Policy and Procedure (based on NYS Policy and Procedure), updated as of 2021 (Exhibit 8)
  - 13) Resolution \_\_\_\_ . Set a Public Hearing at our regularly Board Meeting on January 24, 2022, at 7:00PM, for revision to the newly established Home Improvement Code to include not only hours/days (8AM-6PM, Mon.-Sat), but to add all Federal Holidays
  - 14) Resolution \_\_\_\_ . Set a Public Hearing for revision of the Code on Smoking on Village property at our regularly Board Meeting on January 24, 2022, at 7:00PM.

15) Updates:

- Discussion: The DPW List of Projects outlined by the Superintendent of the DPW, Jason Crane, on repairs and renovation. (Exhibit 9)
- Review: NYS Senator Alexis Weik's and NYS Assemblyman DiStefano Communications form Mayor Fell regarding Grant Requests for 2022 NYS Budget (Exhibit 10)
- Golf Course Outbuildings - JPC Engineering Review on November 30, 2021, report due shortly
- Status of the Congressional (Schumer, Gillibrand, Zeldin) Allocation \$3.27M Grant Status and Timeframe
- Safety and Traffic Calming Measures: The Speed Monitor has been delivered with minor damage. A new support leg has been sent to us, which will be repaired in-house.
- Waterfront –
  - Browns Lane Bulkhead Replacement, Shore Road and Main/Rock Dock Projects The project will recommence on January 3, 2022
  - Engaging Rising Tide to conduct a study for necessary permitting, design for funding of the street terminus at Otis, Thornhedge and South Howells Point Roads for submission to NYS for the Federal \$1.3T Infrastructure Grant. The projects must be "Shovel Ready."
  - Discussion: Pursuing a project with Suffolk County for the dredging of the channel between Bellport Village and Fire Island for submission to NYS for the Federal \$1.3T Infrastructure Grant
  - Report from Waterfront Manage, Mark Leuly, regarding the Ferry and Winter Repairs and Maintenance. (Exhibit 11)
  - Automated Electronic Gate for Mothers' Beach - Gate and Security: the BVPF is offering to cost share and donate funds for the project, specifically the gate with a donation of \$18,000; total cost estimated at \$36,000. This project will be discussed further at our next Work Session on January 10, 2022.

16) Resolution \_\_\_\_\_. Special Events: Bellport High School Football Team Recognition as Suffolk County Champions at our January 24, 2022 Board Meeting (Exhibit 12)

Close  
Executive





# VILLAGE OF BELLPORT

Board of Trustees Monthly Meeting – November 22, 2021

## MINUTES

Bellport Village Community Center, 4 Bell Street, beginning at 6:00 PM  
This meeting is live and being live-streamed on You Tube via Zoom

Call to Order, Pledge of Allegiance & Roll Call – All Present  
Start: Executive Session at 6:00PM

### Open to the Public

Report of the Trustees  
Report of the Village Attorney

- 1) Presentation by Mark Rauch, Village Resident, regarding **Make Bellport Greener**, a new committee forming with its focus on sustainability. (Exhibit 1)

Resolution: **162** - Approve the Bellport Sustainability Committee - Chairperson: Marc Rauch, Members: Robert Dahn, Allison Forstmann, Jean-Damien Lury, Howard Read, Darcy Stevens, Elettra Wiedemann (Exhibit 2)

**Motion: Deputy Mayor Rosenberg – Second: Trustee Ferrigno - APPROVED**

- 2) Public Meeting regarding the Pavilion at Ho Hum Beach

- 3) Resolution: **163** - Approve the Board Meeting Minutes of October 25, 2021. (Exhibit 3)

**Motion: Trustee Mackin – Second: Deputy Mayor Rosenberg – APPROVED**

- 4) Review and approve the following payments:

- Resolution: **164** - Approve General Fund Checking Abstract Report #1. Consisting of 74 vendors:

**Motion: Trustee Ferrigno – Second: Trustee Mackin - APPROVED**

a) General Fund Expenditures:	\$437,252.13
b) Enterprise Fund Expenditures:	<u>\$ 9,074.95</u>
Totaling:	\$446,327.08

- Resolution: **165** - Approve the Enterprise Fund Checking Abstract Report #2, consisting of 16 vendors totaling: \$94,710.73

**Motion: Trustee Veitch – Second: Trustee Mackin - APPROVED**

See Financial Abstracts and Summary of Abstracts (Exhibit 4)

- Total taxes collected through November 22, 2021: \$2,783,703.67 (97.91 % of the budget)

5) Resolution: **166** - Approve the Budget Transfers as of November 22, 2021. (Exhibit 5)

**Motion: Trustee Ferrigno – Second: Trustee Mackin – APPROVED**

6) Resolution: **167** - Accept and Approve the Golf Commission’s recommended improvements to the Bellport Golf Course under the Master Plan by Love Kington, LLC, in the amount of \$98,500 (Exhibit 6)

**Motion: Trustee Veitch – Second: Deputy Mayor Rosenberg - APPROVED**

7) Resolution: **168** - Approve to extend the Agreement with Alexandra McCabe as Consultant to the Treasurer’s Department from December 1, 2021 through May 31, 2022, remaining at a rate of \$100.00, per hour (the impact of this extension was anticipated and has already been budgeted). (Exhibit 7)

**Motion: Trustee Veitch – Second: Trustee Ferrigno - APPROVED**

8) Resolution: **169** – Accept donation made by certain Bellport Golf Club (BGC) members of a 50-foot flagpole with one American flag and the flag of the BGC. The lighting of the flag will be determined at a later date. Deputy Mayor Rosenberg, Trustee Ferrigno, Trustee Mackin – Yes; Trustee Veitch - Abstained

**Motion: Deputy Mayor Rosenberg – Second: Trustee Ferrigno – APPROVED**

9) Updates:

- Discussion: Streaming Board Meetings on the internet
- Waterfront -
  - Status of Ho Hum Pavilion
  - FEMA Main Dock Project: FEMA Validation of Project;
  - Browns Lane Bulkhead Replacement Project
  - 2022 Boat Birth License Agreement
- Funding by a NYS SAM Grant in the amount of \$460,000 for the repaving of Bellport Lane and Station Road
- Notice of the \$50,000 Grant sponsored by NYS Assemblyman DeStefano for a new Code Vehicle
- Update: Traffic Calming Measures – Speed Sign, Pedestrian Stanchion, Speed Humps and other measures

- Infrastructure Updates –
  - Infrastructure Project Submission for \$3.27M to Congress for our Bellport Marina Basin and Ho Hum Beach Marina

10) Resolution: 170 - Special Events:

- a) Bellport Chamber of Commerce: Holiday Shop Local Soup Contest on Saturday, November 27, 2021, from 11:00AM to 5:00PM (Exhibit 8)
- b) Bellport Country Club – Wedding Ceremony at Mothers’ Beach on Saturday, September 10, 2022, starting at 11:30AM. The fee is \$1,000. (Exhibit 9)
- c) Discuss Holiday Festivities within the Village

**Motion: Trustee Ferrigno – Second: Deputy Mayor Rosenberg - APPROVED**

11) Other Items

**Open to the Public**

Close Meeting  
Executive Session  
End: 9:30PM

EXHIBIT: 2

Village of Bellport  
Abstract Coversheet  
DECEMBER 22, 2021

General Fund Checking

**80 Vendors**

**General Fund Expenditures**

A/P Open Item Register \$ 355,103.98

Purchase Order Receipt Register:

JESCO PARTS REPAIR \$1,279.83

A/P Direct Item Register:

LOCAL 342 LIPSE 11/24/21 Payroll 206.11

LOCAL 342 COPE 11/24/21 Payroll 6.00

LOCAL 342 LIPE 12/09/21 Payroll \$207.52

LOCAL 342 COPE 12/09/21 Payroll 6.00

**Total General Fund Expenditures from General Fund Checking 356,809.44**

**Enterprise Fund Expenditures**

A/P Open Item Register 86,246.95

**Total Enterprise Fund Expenditures from General Fund Checking 86,246.95**

**Total Capital Fund Expenditures from General Fund Checking -**

**Total Payments from General Fund Checking \$ 443,056.39**

Enterprise Fund Checking

**20 Vendors**

A/P Open Item Register total \$ 91,693.39

Purchase Order Receipt Register:

Poletech Flagpole Manufacturer Flagpole for Golf Course \$4,880.00

Nick's Heating & Cooling New Hot Water Heater \$6,000.00

Siteone Landscaping Hedge for Golf Course \$2,100.00

**Total Payments from Enterprise Fund Checking \$ 104,673.39**

Capital Browns & Dock Fund

**1 Vendors**

A/P Open Item Register total \$2,280.00

Purchase Order Receipt Register: \_\_\_\_\_

**Total Payments from Capital Fund Checking \$ 2,280.00**

**Total Payments \$ 550,009.78**



EXHIBIT: #3

**Village of Bellport**  
29 Bellport  
Bellport, NY 11713  
(p) 631 286-0327  
(f) 631 286-7055

# Memo

**To:** Mayor Fell, Board of Trustees and Department Supervisors  
**From:** Kelly Stumpo, Treasurer  
**Date:** 11/19/21  
**Re:** Fiscal Year 2022-2023 Budget Timeline

- **TUESDAY, November 22, 2021** – Budget worksheets are distributed to department supervisors.
  - **Internal Meetings with Department Heads:**
    - **Thursday, January 6, 2022:** 10:00 AM – Code
    - **Tuesday, January 11, 2022:** 10:00 AM – Tennis; 11:00AM – Village Hall/Community Center/Justice
    - **Thursday, January 13, 2022:** 10:00 AM – Building; 11AM - DPW
    - **Tuesday, January 18, 2022:** 9AM – Golf 11AM – Beach, Ferry, Dock
- **TUESDAY, FEBRUARY 1, 2022 Budget work sessions** – 6 PM LOCATION TBD (Beach, Ferry, Dock, Kids Camp)
- **TUESDAY, FEBRUARY 8, 2022 Budget work sessions** - 6 PM LOCATION TBD (Golf, DPW, Tennis)
- **TUESDAY, FEBRUARY 15, 2022 Budget work sessions** – 5 PM LOCATION TBD (Building Dept., Village Hall/Community Center, Justice, Code)

- **TUESDAY, FEBRUARY 22, 2022 (IF NECESSARY) – ALL DEPARTMENTS (TBD) – 6 PM LOCATION TBD**
- **TUESDAY, MARCH 1, 2022 (IF NECESSARY) – ALL DEPARTMENTS (TBD) – 6 PM LOCATION TBD**
- **MONDAY, MARCH 7, 2022 Work Session – 6 PM LOCATION TBD - Review Tentative Budget**
- **MONDAY, MARCH 21, 2022 Board Meeting – 6 PM LOCATION TBD – Presentation of Tentative Budget and setting of Public Hearing**
- **MONDAY APRIL 4, 2022 Budget Vote – 6 PM LOCATION TBD – Public Hearing and Budget Vote**



EXHIBIT: 4A



December 15, 2021

Village of Bellport  
29 Bellport Lane  
Bellport, New York 11713

**Re: Tax Exempt Municipal Lease Proposal**

Dear Sir or Madam:

Lease Servicing Center, Inc. dba NCL Government Capital ("NCL") is pleased to propose to Village of Bellport the following Tax Exempt Municipal Lease transaction as outlined below. Under this transaction, Village of Bellport would enter into a Tax Exempt Municipal Lease agreement with NCL for the purpose of acquiring Pick Up Truck. This transaction is subject to formal review and approval by both the Lessor and Lessee.

<b>LESSEE:</b>	Village of Bellport
<b>LESSOR:</b>	Lease Servicing Center, Inc. dba NCL Government Capital
<b>EQUIPMENT:</b>	Pick Up Truck
<b>EQUIPMENT COST:</b>	\$68,734.00
<b>DOWN PAYMENT / TRADE-IN:</b>	<u>\$50,000.00</u>
<b>AMOUNT FINANCED:</b>	\$18,734.00
<b>FUNDING DATE:</b>	December 31, 2021
<b>DEFERRAL DAYS:</b>	0
<b>FIRST PAYMENT DUE:</b>	January 31, 2022
<b>TERM:</b>	3 Years
<b>MONTHLY LEASE PAYMENTS:</b>	\$560.80
<b>ALTERNATIVE LEASE OPTIONS:</b>	4 years \$425.26
	5 years \$343.92

**BALLOON PAYMENT:** \$0.00

**PRICING:** The Rate and Payments outlined above are locked, provided this proposal is accepted by the Lessee by January 14, 2022 and the transaction closes/funds prior to February 13, 2022. After these days, the final Rate and Payments shall be adjusted commensurately with market rates in effect at the time of funding and shall be fixed for the entire lease term.

**DOCUMENTATION FEE:** \$500 paid to Lessor at closing

**DOCUMENTATION:** Lessor shall provide all of the documentation necessary to close this transaction. This documentation shall be governed by the laws of the State of Lessee.

**TITLE / INSURANCE:** Lessee shall retain title to the equipment during the lease term. Lessor shall be granted a perfected security interest in the equipment and the Lessee shall keep the equipment free from any/all liens or encumbrances during the term. Lessee shall provide adequate loss and liability insurance coverage, naming Lessor as additional insured and loss-payee.

**TAX STATUS:** This transaction must be designated as Tax-Exempt under Section 103 of the IRS code of 1986 as amended.

**SOURCEWELL CONTRACT:** NCL has been competitively bid and awarded a contract through Sourcewell (Formerly NJPA).  
**#011620-NCL** NCL's Sourcewell Contract # is 011620-NCL.

We appreciate this opportunity to offer an NCL Financing Solution. Please do not hesitate to contact me if you have any questions at (612) 791-0411. Acceptance of this proposal is required prior to credit underwriting by NCL. Upon acceptance of this proposal, please scan and e-mail to my attention. Thank you again.

Sincerely,

CHRISTOPHER CANAVATI - (612) 791-0411  
chris@nclgovcap.com

**ACCEPTANCE**

As a duly authorized agent of Village of Bellport, I hereby accept the proposal as outlined above and intend to close this financing with NCL, subject to final approval.

ACCEPTED: \_\_\_\_\_ DATE: \_\_\_\_\_  
NAME: \_\_\_\_\_ TITLE: \_\_\_\_\_  
PHONE: \_\_\_\_\_

WE ARE PROVIDING THE INFORMATION CONTAINED HEREIN FOR INFORMATIONAL PURPOSES ONLY IN CONNECTION WITH POTENTIAL ARM'S-LENGTH COMMERCIAL BANKING TRANSACTIONS. IN PROVIDING THIS INFORMATION, WE ARE ACTING FOR OUR OWN INTEREST AND HAVE FINANCIAL AND OTHER INTERESTS THAT DIFFER FROM YOURS. WE ARE NOT ACTING AS A MUNICIPAL ADVISOR OR FINANCIAL ADVISOR TO YOU, AND HAVE NO FIDUCIARY DUTY TO YOU OR ANY OTHER PERSON PURSUANT TO SECTION 10B OF THE SECURITIES EXCHANGE ACT OF 1934. THE INFORMATION CONTAINED IN THIS DOCUMENT IS NOT INTENDED TO BE AND SHOULD NOT BE CONSTRUED AS "ADVICE" WITHIN THE MEANING OF SECTION 10B OF THE SECURITIES EXCHANGE ACT OF 1934 AND THE MUNICIPAL ADVISOR RULES OF THE SEC. WE ARE NOT RECOMMENDING THAT YOU TAKE AN ACTION WITH RESPECT TO THE INFORMATION CONTAINED HEREIN. BEFORE ACTING ON THIS INFORMATION, YOU SHOULD DISCUSS IT WITH YOUR OWN FINANCIAL AND/OR MUNICIPAL, LEGAL, ACCOUNTING, TAX AND OTHER ADVISORS AS YOU DEEM APPROPRIATE. IF YOU WOULD LIKE A MUNICIPAL ADVISOR THAT HAS LEGAL FIDUCIARY DUTIES TO YOU, THEN YOU ARE FREE TO ENGAGE A MUNICIPAL ADVISOR TO SERVE IN THAT CAPACITY.



# National Auto Fleet Group

A Division of Chevrolet of Watsonville  
 480 Auto Center Drive, Watsonville, CA 95078  
 (855) 289-6572 • (831) 480-8497 Fax  
 Fleet@NationalAutoFleetGroup.com

12/10/2021  
 12/15/2021 Re-Configured

Quote ID: **19249 R1**

Order Cut Off Date: **TBA**

Village of Bellport  
 29 Bellport Lane  
 Bellport, New York, 11713

Dear Village of Bellport Village of Bellport,

National Auto Fleet Group is pleased to quote the following vehicle(s) for your consideration.  
**One (1) New/Unused (2022 Ford F-150 Police Responder (W1P) XL 4WD SuperCrew 5.5' Box 145" WB, Proliner F-150 Equipment + Chassis Handling \$1,500.00) and delivered to your specified location, each for**

	One Unit (MSRP)	One Unit	Total % Savings	Total Savings
Contract Price	\$47,335.00	\$41,744.28	11.811 %	\$5,590.72
Proliner F-150 Equipment	\$26,340.00	\$26,340.00		
+ Chassis Handling \$1,500.00				
Tax (0.0000 %)		\$0.00		
Tire fee		\$0.00		
Transportation		\$650.00		
<b>Total</b>		<b>\$68,734.28</b>		

- per the attached specifications.

This vehicle(s) is available under the **Sourcewell (Formerly Know as NJPA) Contract 120716-NAF** . Please reference this Contract number on all purchase orders to National Auto Fleet Group. Payment terms are Net 20 days after receipt of vehicle.

Thank you in advance for your consideration. Should you have any questions, please do not hesitate to call.

Sincerely,

Jesse Cooper  
 Account Manager  
 Email: Fleet@NationalAutoFleetGroup.com  
 Office: (855) 289-6572  
 Fax: (831) 480-8497

Quoting Department  
 Account Manager  
 Fleet@NationalAutoFleetGroup.com  
 (855) 289-6572



## Purchase Order Instructions & Resources

In order to finalize your purchase please submit this purchase packet to your governing body for a purchase order approval and submit your purchase order in the following way:

Email: [Fleet@NationalAutoFleetGroup.com](mailto:Fleet@NationalAutoFleetGroup.com)

Fax: (831) 480-8497

Mail: National Auto Fleet Group

490 Auto Center Drive

Watsonville, CA 95076

We will send a courtesy confirmation for your order and a W-9 if needed.

### Additional Resources

Learn how to track your vehicle:

[www.NAFGETA.com](http://www.NAFGETA.com)

Use the upfitter of your choice:

[www.NAFGpartner.com](http://www.NAFGpartner.com)

Vehicle Status:

[ETA@NationalAutoFleetGroup.com](mailto:ETA@NationalAutoFleetGroup.com)

General Inquiries:

[Fleet@NationalAutoFleetGroup.com](mailto:Fleet@NationalAutoFleetGroup.com)

For general questions or assistance please contact our main office at:

# 1-855-289-6572



**Rescue Vehicle & Equipment Sales & Service**  
 18 Peconic Avenue, Medford NY 11763  
 (631) 447-9558 Fax (631) 447-9548

<b>Date:</b>	<b>Wednesday, December 15, 2021</b>
<b>To:</b>	<b>Village of Bellport</b>
<b>For:</b>	<b>Conversion</b>
<b>On:</b>	<b>Ford F150</b>

Package	
Light bar	Code 3 Pursuit multi-color light bar
Siren & Light control	Code 3 Z3 siren with 100 watt speaker
Grill lights	(4) Code 3 red/white
Intersection	(2) Code 3 Mega thin red/white mounted on front fenders
Side warning	(2) Code 3 Mega thin red/blue mounted on side of bed
Rear bumper/valgate	4 Mr red/blue split color rear upper bumper lip
Hide-a-way Strobes	Hide-a-way strobes led code 3 4 way kit white blue in rear tail light front fog light red /white
Rear cap warning	Code 3 Mega stick mounted on cap roof
Center Console	Custom built poly center console with face plates, arm rest cup holders
Radios	Install Customer supplied (2) mobile radios and (1) portable
Wire harness	Extreme duty wiring package
Cap	Fiberglass extreme bed cap cab height CX SERIES with side storage compartments, with solid win doors on the sides with electric locks
Roll out tray	1500 lb. 100 % extension rear roll out tray with reflective tape on all edges
Lettering	Lettering package as per existing fleet
<b>Total</b>	<b>\$ 24,840.00</b>



## Vehicle Configuration Options

ENGINE	
Code	Description
998	ENGINE: 3.5L V6 ECOBOOST, -inc: 120-MPH top speed (STD)
TRANSMISSION	
Code	Description
44G	TRANSMISSION: ELECTRONIC 10-SPEED AUTOMATIC, -inc: selectable drive modes: normal/tow-haul/snow-wet/EcoSelect/sport and SelectShift automatic w/progressive range select (STD)
PRIMARY PAINT	
Code	Description
YZ	OXFORD WHITE
PAINT SCHEME	
Code	Description
	STANDARD PAINT
SEAT TYPE	
Code	Description
PB	BLACK, CLOTH 40/BLANK/40 FRONT-SEATS, -inc: reduced bolsters, 8-way power driver/manual passenger, center-section deleted, (Restraint control module cover provided) and vinyl rear bench
OPTION PACKAGE	
Code	Description
150A	EQUIPMENT GROUP 150A BASE
ADDITIONAL EQUIPMENT	
Code	Description
47P	POLICE ENGINE IDLE FEATURE, -inc: This feature allows you to leave the engine running and prevents your vehicle from unauthorized use when outside of your vehicle, Allows the key to be removed from ignition while vehicle remains idling
18B	BLACK PLATFORM RUNNING BOARDS
153	FRONT LICENSE PLATE BRACKET, -inc: Standard in states where required by law, optional to all others

## 2022 Fleet/Non-Retail Ford F-150 Police Responder XL 4WD SuperCrew 5.5' Box 145" WB

### WINDOW STICKER

2022 Ford F-150 Police Responder XL 4WD SuperCrew 5.5' Box 145" WB

CODE	MODEL	MSRP
W1P	2022 Ford F-150 Police Responder XL 4WD SuperCrew 5.5' Box 145" WB	\$45,130.00
<b>OPTIONS</b>		
998	ENGINE: 3.5L V6 ECOBOOST, -inc: 120-MPH top speed (STD)	\$0.00
44G	TRANSMISSION: ELECTRONIC 10-SPEED AUTOMATIC, -inc: selectable drive modes: normal/tow-haul/snow-wet/EcoSelect/sport and SelectShift automatic w/progressive range select (STD)	\$0.00
YZ	OXFORD WHITE	\$0.00
—	STANDARD PAINT	\$0.00
PB	BLACK, CLOTH 40/BLANK/40 FRONT-SEATS, -inc: reduced bolsters, 8-way power driver/manual passenger, center-section deleted, (Restraint control module cover provided) and vinyl rear bench	\$0.00
150A	EQUIPMENT GROUP 150A BASE	\$0.00
47P	POLICE ENGINE IDLE FEATURE, -inc: This feature allows you to leave the engine running and prevents your vehicle from unauthorized use when outside of your vehicle, Allows the key to be removed from ignition while vehicle remains idling	\$260.00
18B	BLACK PLATFORM RUNNING BOARDS	\$250.00
153	FRONT LICENSE PLATE BRACKET, -inc: Standard in states where required by law, optional to all others	\$0.00

Please note selected options override standard equipment

<b>SUBTOTAL</b>	<b>\$45,640.00</b>
Advert/ Adjustments	\$0.00
Manufacturer Destination Charge	\$1,695.00
<b>TOTAL PRICE</b>	<b>\$47,335.00</b>

Est City: N/A MPG  
Est Highway: N/A MPG  
Est Highway Cruising Range: N/A mi

Any performance-related calculations are offered solely as guidelines. Actual unit performance will depend on your operating conditions.

**Standard Equipment****MECHANICAL**

Engine: 3.5L V6 EcoBoost -inc: 120-MPH top speed
Transmission: Electronic 10-Speed Automatic -inc: selectable drive modes: normal/tow-haul/snow-wet/EcoSelect/sport and SelectShift automatic w/progressive range select
Electronic Locking w/3.31 Axle Ratio
GVWR: 7,050 lbs Payload Package
Electronic Transfer Case
Automatic Full-Time Four-Wheel Drive
80-Amp/Hr 800CCA Maintenance-Free Battery w/Run Down Protection
HD 240 Amp Alternator
Class IV Trailer Hitch Receiver -inc: smart trailer tow connector and 4-pin/7-pin wiring harness
Towing Equipment -inc: Trailer Sway Control
3 Skid Plates
Police/Fire
2030# Maximum Payload
HD Shock Absorbers
Front HD Anti-Roll Bar
Off-Road Suspension
Electric Power-Assist Speed-Sensing Steering
26 Gal. Fuel Tank
Single Stainless Steel Exhaust
Auto Locking Hubs
Double Wishbone Front Suspension w/Coil Springs
Leaf Rear Suspension w/Leaf Springs
4-Wheel Disc Brakes w/4-Wheel ABS, Front And Rear Vented Discs, Brake Assist, Hill Descent Control, Hill Hold Control and Electric Parking Brake

**EXTERIOR**

Wheels: 18" 6-Spoke Silver Aluminum
Tires: LT265/70R18 BSW A/T
Regular Box Style
Steel Spare Wheel
Full-Size Spare Tire Stored Underbody w/Crankdown
Clearcoat Paint
Black Front Bumper w/Black Rub Strip/Fascia Accent and 2 Tow Hooks
Black Rear Step Bumper
Black Side Windows Trim and Black Front Windshield Trim

Black Door Handles
Black Power Side Mirrors w/Convex Spotter and Manual Folding
Fixed Rear Window
Light Tinted Glass
Variable Intermittent Wipers
Aluminum Panels
Black Grille
Tailgate Rear Cargo Access
Tailgate/Rear Door Lock Included w/Power Door Locks
Ford Co-Pilot360 - Autolamp Auto On/Off Aero-Composite Halogen Daytime Running Lights Preference Setting Headlamps w/Delay-Off
Cargo Lamp w/High Mount Stop Light

**ENTERTAINMENT**

Radio: AM/FM Stereo w/6 Speakers
Radio w/Seek-Scan, Speed Compensated Volume Control and Radio Data System
SYNC 4 -inc: 8" LCD capacitive touchscreen w/swipe capability, wireless phone connection, cloud connected, AppLink w/App Catalog, 911 assist, Apple CarPlay and Android Auto compatibility, digital owners manual and wireless software updates capability
Fixed Antenna

**INTERIOR**

Driver Seat
Passenger Seat
60-40 Folding Split-Bench Front Facing Fold-Up Cushion Rear Seat
Manual Tilt/Telescoping Steering Column
Gauges -inc: Speedometer, Odometer, Voltmeter, Oil Pressure, Engine Coolant Temp, Tachometer, Transmission Fluid Temp, Engine Hour Meter and Trip Odometer
Power Rear Windows
Fleet Telematics Modem Selective Service Internet Access
Front Cupholder
Rear Cupholder
Compass
Cruise Control w/Steering Wheel Controls
Manual Air Conditioning
HVAC -inc: Underseat Ducts
Glove Box
Cloth 40/Blank/40 Front-Seats -inc: reduced bolsters, 8-way power driver/manual passenger, center-section deleted, (Restraint control module cover provided) and vinyl rear bench
Interior Trim -inc: Cabback Insulator and Chrome Interior Accents

Full Cloth Headliner
Urethane Gear Shifter Material
Day-Night Rearview Mirror
Passenger Visor Vanity Mirror
Full Overhead Console w/Storage and 2 12V DC Power Outlets
Fade-To-Off Interior Lighting
Full Vinyl/Rubber Floor Covering
Pickup Cargo Box Lights
Fleet Telematics Modem Tracker System
Instrument Panel Bin, Dashboard Storage, Driver / Passenger And Rear Door Bins
Power 1st Row Windows w/Driver And Passenger 1-Touch Up/Down
Power Door Locks w/Autolock Feature
Redundant Digital Speedometer
Outside Temp Gauge
Analog Appearance
Seats w/Cloth Back Material
Manual Adjustable Front Head Restraints and Manual Adjustable Rear Head Restraints
Securilock Anti-Theft Ignition (pats) Engine Immobilizer
2 12V DC Power Outlets

**SAFETY**

AdvanceTrac w/Roll Stability Control Electronic Stability Control (ESC) And Roll Stability Control (RSC)
ABS And Driveline Traction Control
Side Impact Beams
Dual Stage Driver And Passenger Seat-Mounted Side Airbags
Reverse Sensing System Rear Parking Sensors
Tire Specific Low Tire Pressure Warning
Dual Stage Driver And Passenger Front Airbags
Safety Canopy System Curtain 1st And 2nd Row Airbags
Airbag Occupancy Sensor
Rear Child Safety Locks
Outboard Front Lap And Shoulder Safety Belts -inc: Rear Center 3 Point, Height Adjusters and Pretensioners
Dynamic Hitch Assist Back-Up Camera

Exhibit: 5

Michael Perrone  
33 Cypress Lane  
Shirley, NY 11967  
(631)965-6208

December 13, 2021

Mayor Raymond Fell  
29 Bellport Lane  
Bellport, NY 11713

Dear Mayor Fell,


Please accept this letter as notification that I have made the decision to retire from the Village of Bellport effective December 30, 2021.

I have truly enjoyed working for the Village of Bellport and sincerely appreciate the support and opportunities that were provided to me over the past 34 years. While I look forward to retirement I will miss being part of this organization and coming to work every day.

During my tenure with the Village of Bellport I have seen many projects come to fruition and had the privilege to have worked with numerous wonderful people. I hope that those friendships I have developed over the years will last well into the future.

If I can be of any assistance before or after my departure please feel free to let me know. Again I can't express enough how grateful I am. I wish you and all the residents of the Village of Bellport nothing but the best.

Yours truly,



Michael J Perrone

Exhibit: 6

# CHANGE ORDER APPROVAL FORM

## CHANGE ORDER / ALLOWANCE

02

PROJECT Bellport Waterfront Improvements

CONTRACTOR Kitzen Construction LLC  
150 Cary Place  
Freeport, New York 11520

### CONTRACT IS AMENDED AS FOLLOWS:

#### Additional Work to be Paid

Increase the pipe diameter of outfall pipe discharging from the final catch basin through the bulkhead from 18 to 24 in. Increase size of check valve to accommodate new pipe size. Check valve shall be Inline Upstream Clamp CheckMate by Tideflex (or Better). Item to be paid on a Lump Sum basis as part of the Change Order in the amount of \$9,250.00.

Install 4X6 Treated (1.5 PSF) back strap along landward side of bulkhead piles w/ two (2) countersunk fasteners (1/2 in. HDG Lag Bolts – length = 8 in.). Straps shall receive the nut/washer of the timber bolt penetrating the timber piles. Item to be paid on a Lump Sum basis as part of the Change Order in the amount of \$5,200.00.

Install 1 in. diameter PEX pipe potable water along center of main dock w/ 3/4 in. diameter PEX pipe (re)feeding each slip spigot. Cost includes all hardware except spigot and/or fixture. Item to be paid on a Lump Sum basis as part of the Change Order in the amount of \$11,000.00.

#### Work Removed from Contract

None.

### NET CHANGE TO CONTRACT

Original Contract Sum.....	(A)	\$ 476,170.00
Changes by Previously Approved Change Order(s).....	(B)	\$ 99,300.00
Contract Sum after Previously Approved Change Order(s).....	(A + B)	\$ 575,470.00
Change Order Amount.....	(C)	\$ 25,450.00
Contract Sum w/ Change Order.....	(A + B + C)	\$ 600,920.00

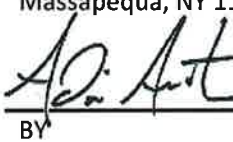
### CHANGE ORDER INVALID UNTIL EXECUTED BY CONTRACTOR, ENGINEER AND OWNER

CONTRACTOR  
Kitzen Construction LLC  
150 Cary Place  
Freeport, New York 11520

ENGINEER  
Rising Tide Waterfront Solutions  
PO Box 280  
Massapequa, NY 11758

OWNER  
Village of Bellport  
29 Bellport Lane  
Bellport, NY 11713

  
BY \_\_\_\_\_ Date 12/14/2021

  
BY \_\_\_\_\_ Date 12/14/2021

BY \_\_\_\_\_ Date \_\_\_\_\_

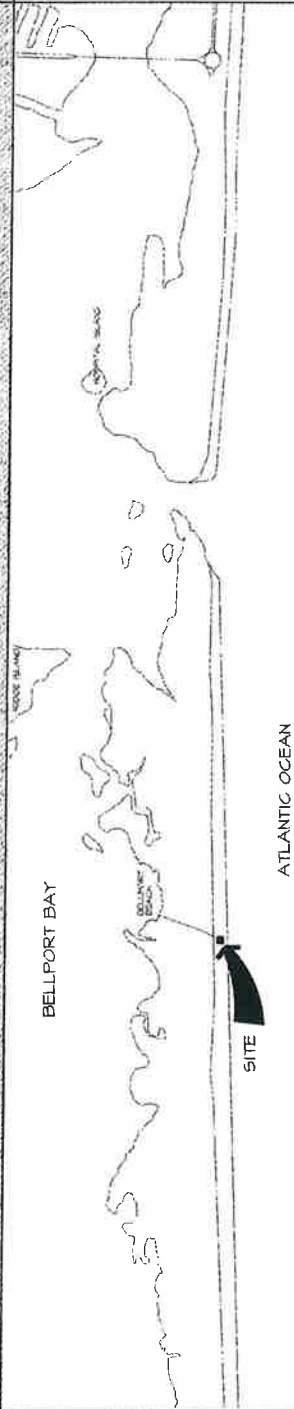
# HO HUM BEACH PAVILION AND WALK REPLACEMENT PROJECT

## FOR THE INCORPORATED VILLAGE OF BELLPORT

FIRE ISLAND NY



### LOCATION MAP



### DIRECTORY

**CLIENT:**  
INCORPORATED VILLAGE OF BELLPORT  
29 BELLPORTE LANE  
BELLPORT, NY 11713

**CIVIL ENGINEER:**  
J.R. HOLZMACHER P.E., LLC  
5505 VETERANS MEMORIAL HIGHWAY  
ROCKYHONK, NEW YORK, 11778

**ARCHITECT:**  
MR. PETER BRAVERMAN  
(609) 732-7777

**STRUCTURAL ENGINEER:**  
J.R. HOLZMACHER P.E., LLC  
5505 VETERANS MEMORIAL HIGHWAY  
ROCKYHONK, NEW YORK, 11778

### GENERAL NOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, AS APPLICABLE TO THE JURISDICTION OF THE VILLAGE OF BELLPORT.
2. THE VILLAGE OF BELLPORT HAS A ZONING MAP THAT IS SUBJECT TO CHANGE. THE ZONING MAP SHALL BE CONSULTED TO DETERMINE THE APPLICABLE ZONING REGULATIONS.
3. THE VILLAGE OF BELLPORT HAS A ZONING MAP THAT IS SUBJECT TO CHANGE. THE ZONING MAP SHALL BE CONSULTED TO DETERMINE THE APPLICABLE ZONING REGULATIONS.
4. ALL WORK SHALL CONFORM TO THE BELLPORT ZONING MAP AND ANY OTHER REGULATIONS THAT MAY BE APPLICABLE TO THE PROJECT.
5. THE VILLAGE OF BELLPORT HAS A ZONING MAP THAT IS SUBJECT TO CHANGE. THE ZONING MAP SHALL BE CONSULTED TO DETERMINE THE APPLICABLE ZONING REGULATIONS.

### STAIR NOTES

1. ALL STAIRS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, AS APPLICABLE TO THE JURISDICTION OF THE VILLAGE OF BELLPORT.
2. THE VILLAGE OF BELLPORT HAS A ZONING MAP THAT IS SUBJECT TO CHANGE. THE ZONING MAP SHALL BE CONSULTED TO DETERMINE THE APPLICABLE ZONING REGULATIONS.
3. ALL STAIRS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, AS APPLICABLE TO THE JURISDICTION OF THE VILLAGE OF BELLPORT.
4. THE VILLAGE OF BELLPORT HAS A ZONING MAP THAT IS SUBJECT TO CHANGE. THE ZONING MAP SHALL BE CONSULTED TO DETERMINE THE APPLICABLE ZONING REGULATIONS.
5. ALL STAIRS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, AS APPLICABLE TO THE JURISDICTION OF THE VILLAGE OF BELLPORT.

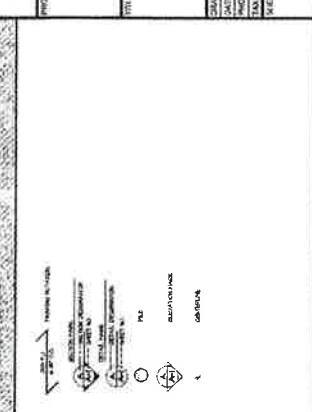
### LIST OF DRAWINGS

- A-001 COVER SHEET
- C-001 WALKWAY PLAN
- A-002 ADA / ANSL NOTES
- A-003 ADA / ANSL NOTES
- A-101 FOUNDATION AND FLOOR PLAN
- A-201 ELEVATIONS
- A-301 SECTIONS
- A-402 STAIR SECTIONS AND DETAIL
- S-101 FOUNDATION PLAN AND DETAILS

### ARCHITECTURAL ABBREVIATION LIST

SYMBOL	ABBREVIATION	DESCRIPTION
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2	2	2
3	3	3
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100	100	100

### SYMBOLS



**N&P**  
NELSON & POPE  
ENGINEERS & SURVEYORS  
INCORPORATED  
100 WEST 11TH STREET  
PO BOX 100  
NEW YORK, NY 10011  
WWW.NELSONANDPOPE.COM

**N&P**  
NELSON & POPE  
ENGINEERS & SURVEYORS  
INCORPORATED  
100 WEST 11TH STREET  
PO BOX 100  
NEW YORK, NY 10011  
WWW.NELSONANDPOPE.COM

J. R. Holzmacher PE LLC  
100 WEST 11TH STREET  
PO BOX 100  
NEW YORK, NY 10011  
WWW.NELSONANDPOPE.COM

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	08/11/2020
2	ISSUED FOR PERMIT	08/11/2020
3	ISSUED FOR PERMIT	08/11/2020

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INCORPORATED  
VILLAGE OF BELLPORT  
29 BELLPORTE LANE  
BELLPORT, NY 11713

HO HUM BEACH  
PAVILION  
REPLACEMENT

COV

EXHIBIT: 27

A











**NELSON & POPE**  
 ARCHITECTS  
 100 WEST 17TH STREET  
 NEW YORK, NY 10011  
 PHONE: (212) 850-1234 FAX: (212) 850-1234  
 WWW.NELSONANDPOPE.COM



**HOWARD WOOD ARCA**  
 ARCHITECTS  
 100 WEST 17TH STREET  
 NEW YORK, NY 10011  
 PHONE: (212) 850-1234 FAX: (212) 850-1234  
 WWW.HOWARDWOODARCA.COM

**J. R. Hohenbach RE LLC**  
 200 WEST 17TH STREET  
 NEW YORK, NY 10011  
 PHONE: (212) 850-1234 FAX: (212) 850-1234  
 WWW.HOENBACHRE.COM

NO.	DATE	DESCRIPTION
1	10/15/11	ISSUED FOR PERMITS
2	10/15/11	ISSUED FOR PERMIT
3	10/15/11	ISSUED FOR PERMIT

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**OWNER**  
 INCORPORATED  
 VILLAGE OF BELLPORT  
 29 BELLPORT LANE  
 BELLPORT, NY 11713

**PROJECT**  
 HO HUM BEACH  
 PAVILION  
 REPLACEMENT

**TITLE**  
 FOUNDATION AND  
 FLOOR PLAN

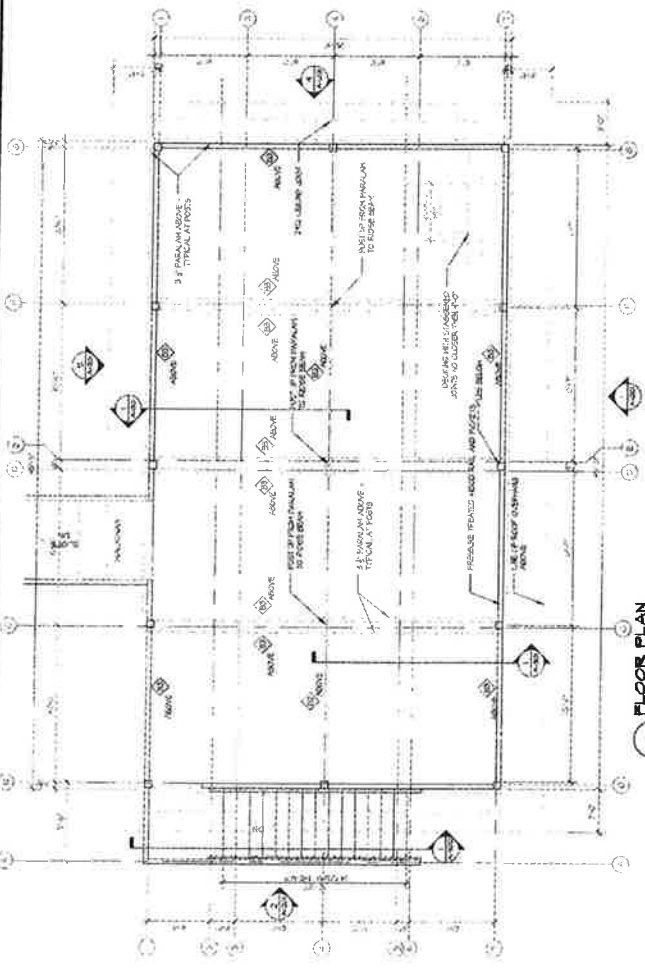
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**DATE** 10/15/11  
**SCALE** AS SHOWN  
**PROJECT NO.** 111111  
**DATE** 10/15/11  
**PROJECT NO.** 111111

**SHEET NUMBER**  
**A-101**  
 INSET 3 OF 3

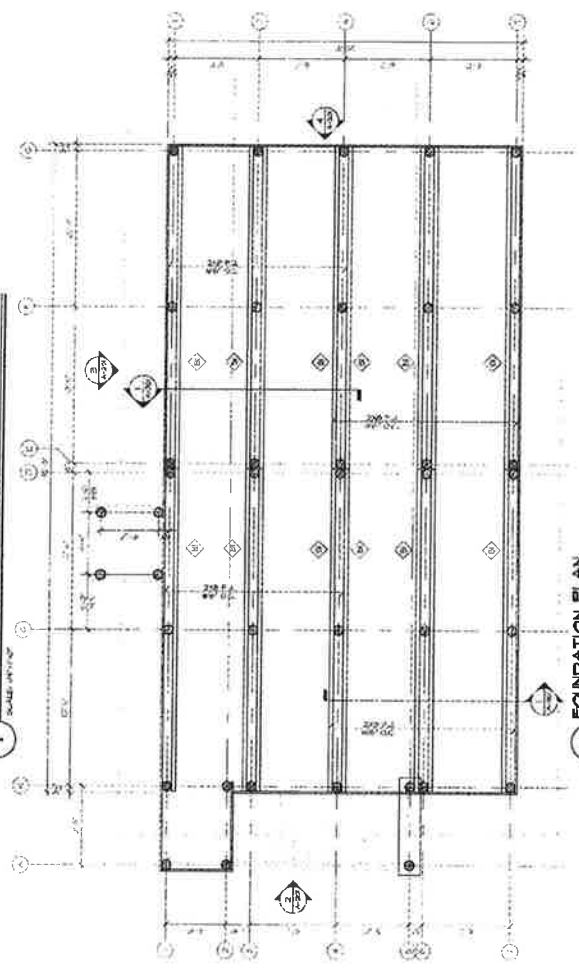
**BEAM SCHEDULE**

TYPE	SECTION	NOTES
208	208	208
209	209	209
210	210	210

ALL DIMENSIONS REFERENCED TO BE SURFACE OF FOUNDATION UNLESS OTHERWISE NOTED.



**1 FLOOR PLAN**  
 SCALE: 1/8\"/>



**2 FOUNDATION PLAN**  
 SCALE: 1/8\"/>

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	06/01/11
2	ISSUED FOR PERMIT	06/01/11
3	AS NOTED	06/01/11

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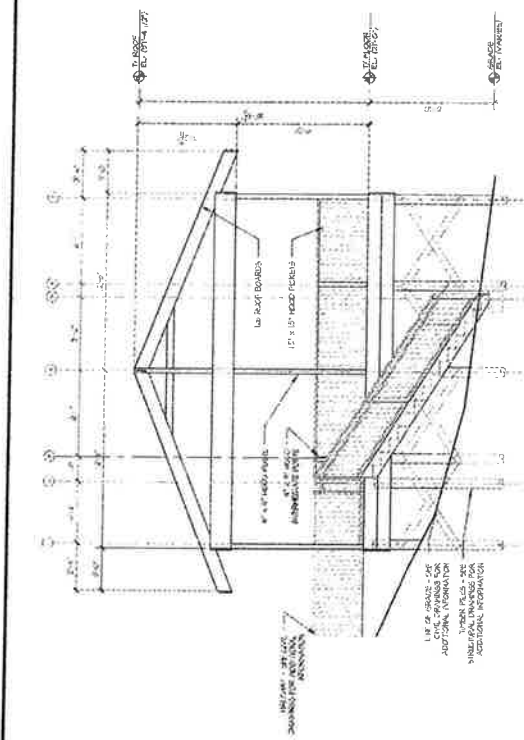
**OWNER**  
 INCORPORATED  
 VILLAGE OF BELLPORT  
 28 BELLPORT LANE  
 BELLPORT NY 11713

**PROJECT**  
 HO HUM BEACH  
 PAVILION  
 REPLACEMENT

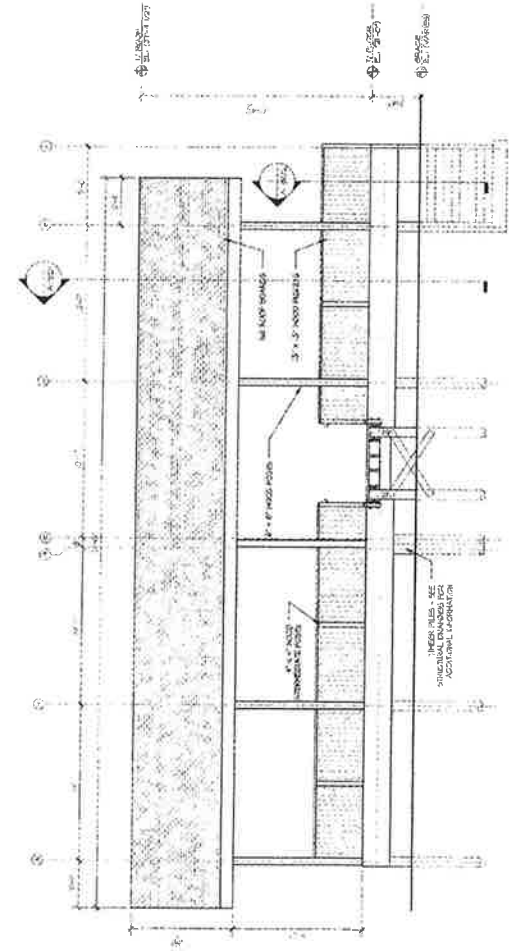
**DATE**  
 06/01/11

**DRAWN BY** PINE CROCKFORD PAIN  
**CHECKED BY** MASON LEGGIE - AS NOTED  
**PROJECT NO.** 110000  
**DATE** 06/01/11  
**SHEET NUMBER**

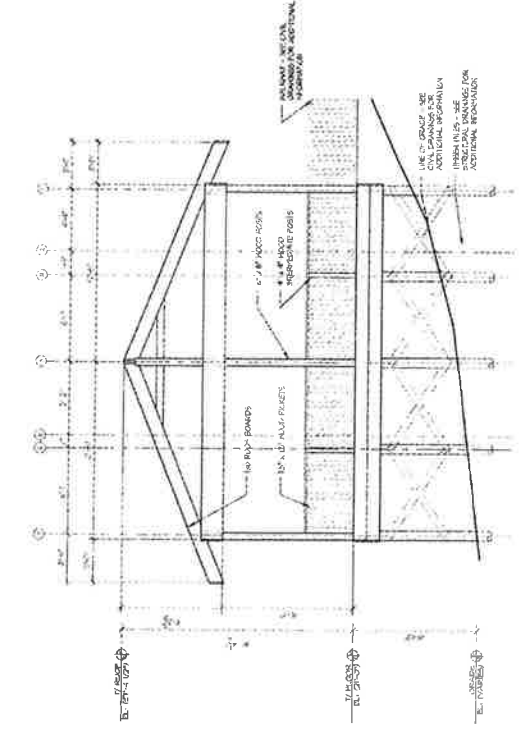
**A-201**  
 SHEET 4 OF 3



**1 FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**1 REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"



**1 SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



NO.	REVISION	DATE
1	ISSUED FOR PERMIT	04/14/10
2	ISSUED FOR PERMIT	04/14/10
3	ISSUED FOR PERMIT	04/14/10

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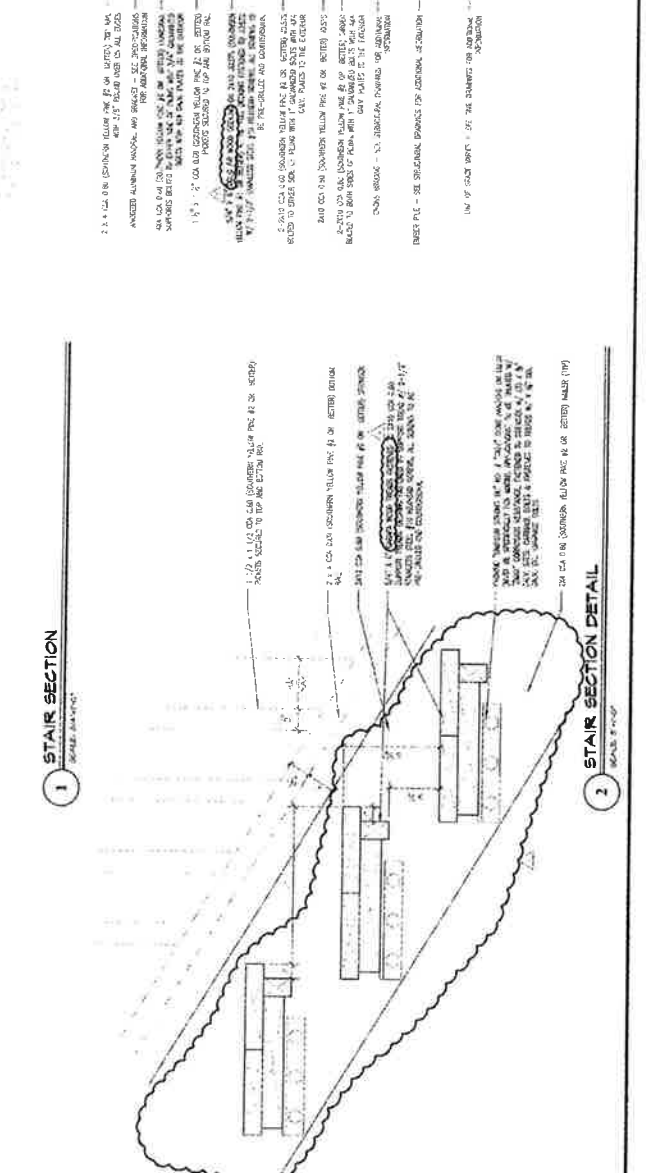
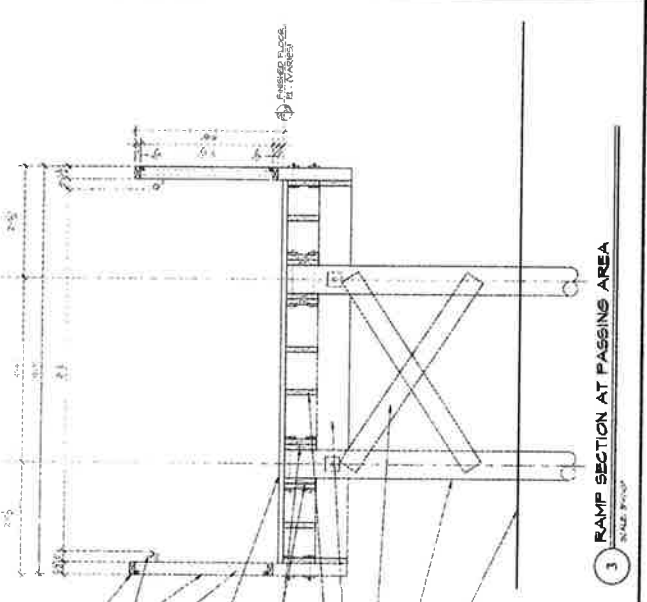
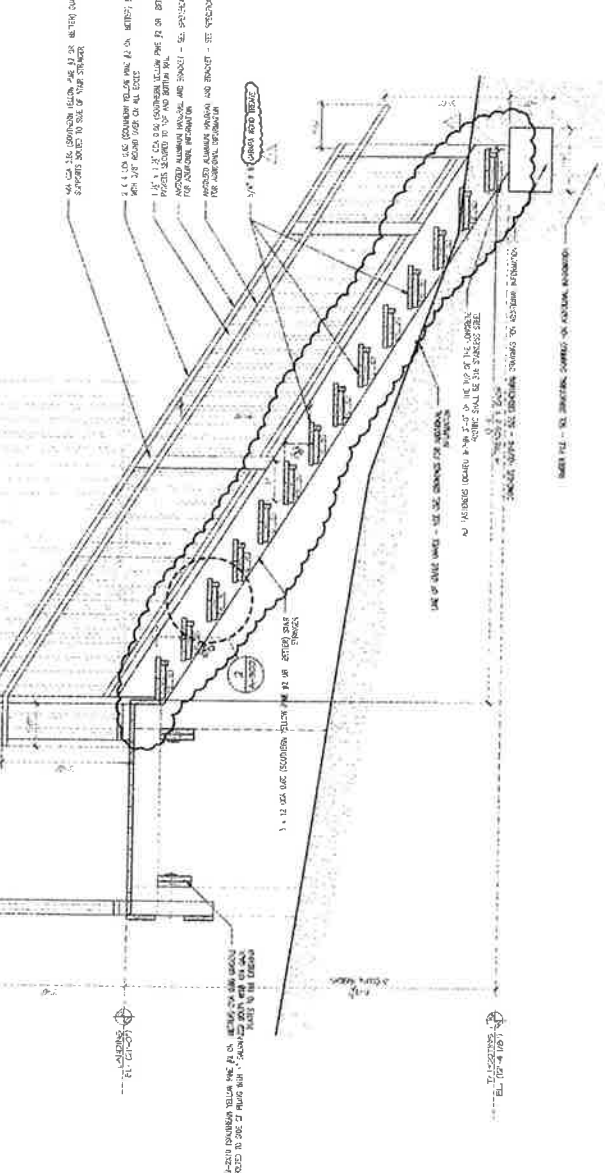
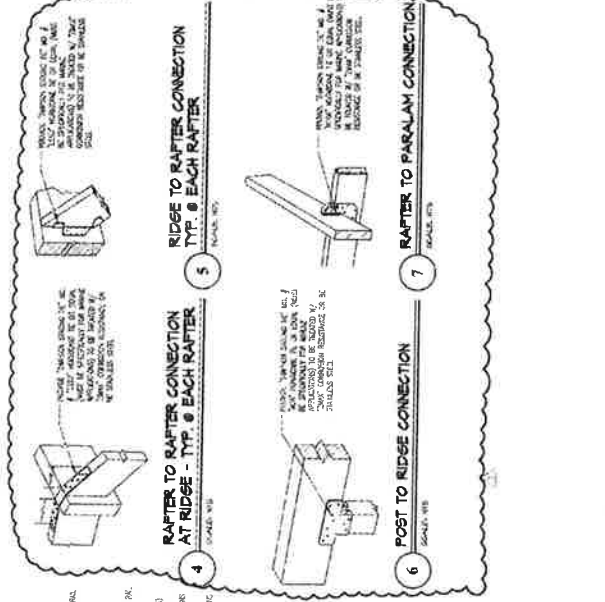
**OWNER:**  
 INCORPORATED  
 VILLAGE OF BELLPORT  
 28 BELLPORT LANE  
 BELLPORT, NY 11713

**PROJECT:**  
 HO HUM BEACH  
 PAVILION  
 REPLACEMENT

**SCALE:**  
 STAIR SECTION AND  
 DETAIL

**DATE:** 04/14/10  
**SCALE:** AS NOTED  
**PROJECTED BY:** WILSON  
**DESIGNED BY:** WILSON  
**PERMIT NUMBER:**

**A-302**  
 SHEET 6 OF 8



**J.R. Hohmacher PE LLC**

INCORPORATED  
VILLAGE OF BELLEPORT  
26 BELLEPORT LANE  
BELLEPORT, NY 11711

HO HUM BEACH  
PAVILION  
REPLACEMENT

DATE: 08/11/2020  
SCALE: 1/8" = 1'-0"

**LEGEND:**

- 1. ALL STRUCTURE LOCATIONS SHALL BE SHOWN ON THIS PLAN.
- 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
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**NOTES:**

1. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
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**A-A FOOTING SECTION**  
SCALE: 1/8" = 1'-0"

FINISH FLOOR SLAB TO BE INSTALLED ABOVE THE FOOTING. SEE FOUNDATION DETAIL FOR REINFORCEMENT.

**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

**B-B FOUNDATION SECTION**  
SCALE: 1/8" = 1'-0"

**C-C FOUNDATION SECTION**  
SCALE: 1/8" = 1'-0"

**D-D FOUNDATION SECTION**  
SCALE: 1/8" = 1'-0"



EXHIBIT: \*1B

**NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION**

Division of Environmental Permits, Region 1  
SUNY @ Stony Brook, 50 Circle Road, Stony Brook, NY 11790  
P: (631) 444-0365 | F: (631) 444-0360  
www.dec.ny.gov

June 19, 2019

Village of Bellport  
29 Bellport Ln.  
Bellport, NY 11713


Re: Permit No.: 1-4722-01737/00013

Dear Permittee:

In conformance with the requirements of the State Uniform Procedures Act (Article 70, ECL) and its implementing regulations (6NYCRR, Part 621) we are enclosing your permit identified above. Please carefully read all permit conditions and special permit conditions contained in the permit to ensure compliance during the term of the permit. If you are unable to comply with any conditions, please contact us at the above address.

Also enclosed is a permit sign which is to be conspicuously posted at the project site and protected from the weather, and a Notice of Commencement/Completion of Construction. Please note, the permit sign and Notice form are sent to either the permittee or the facility application contact, not both.

Sincerely,



Laura F. Star  
Deputy Permit Administrator

LFS





**PERMIT**  
**Under the Environmental Conservation Law (ECL)**

**Permittee and Facility Information**

**Permit Issued To:**  
VILLAGE OF BELLPORT  
  
29 BELLPORT LN  
  
BELLPORT, NY 11713  
(631) 286-7055

**Facility:**  
BELLPORT BEACH MARINA & HO HUM  
BEACH GAZEBO / WALKWAY  
FROM THE BAY TO THE OCEAN|FIRE  
ISLAND  
BELLPORT, NY 11713

**Facility Application Contact:**  
ADON AUSTIN  
RISING TIDE WATERFRONT SOLUTIONS  
486 SUNRISE HWY STE 102  
ROCKVILLE CENTRE, NY 11570  
(516) 595-3483

**Facility Location:** in BROOKHAVEN in SUFFOLK COUNTY **Village:** Fire Island

**Facility Principal Reference Point:** NYTM-E: 675.182 NYTM-N: 4509.311  
Latitude: 40°42'58.0" Longitude: 72°55'33.5"

**Project Location:** The Bay to the Ocean - Watercourse - Atlantic Ocean; FWW # HP-4

**Authorized Activity:** Deconstruct/remove the existing pavilion. Reconstruct pavilion landward of mean high water. Reconstruct walkway, ramp, and beach access stairs. All authorized activities must be in strict conformance with the attached plans stamped NYSDEC-approved on June 19, 2019.

**Permit Authorizations**

**Tidal Wetlands - Under Article 25**

Permit ID 1-4722-01737/00013

New Permit

Effective Date: 6/19/2019

Expiration Date: 6/18/2024

**Freshwater Wetlands - Under Article 24**

Permit ID 1-4722-01737/00014

New Permit

Effective Date: 6/19/2019

Expiration Date: 6/18/2024





3. **Construction Work Window** The proposed project is within 500 feet of potential/documented piping plover and least tern nesting areas. Therefore, for the duration of the permit, no work shall be conducted from April 1 through August 31st of any calendar year.
4. **FWW Area Limit I** The limits of clearing, grading, and ground disturbance (LCGD) line for the Contractor Temporary Equipment Storage and the Contractor Temporary Material Storage, shown on approved plan SK-4, is equal to five feet beyond the perimeters of those two areas.
5. **FWW Area Limit II** The LCGD line for removal and replacement of the wood walk between the marina and the proposed location of the pavilion is equal to five feet beyond the edge of the existing wood walk.
6. **FWW Area Limit III** The LCGD line is equal to 30 feet beyond the perimeter edge of the pavilion, at the proposed new location, as shown on approved plan SK-3-2.
7. **Clearing Restriction** Even within FWW Area Limits I, II, and III, no removal of any woody vegetation is permitted.
8. **Erosion Control Required** Around the Contractor Temporary Material Storage area and any other locations of ground disturbance, erosion control must be used as needed to prevent any loose sand or soil from entering any regulated wetland or vegetated adjacent area.
9. **Straw Bales to Be Entrenched** Straw bales shall be entrenched two to four inches into the ground.
10. **Maintain Bales** The bales shall be maintained, repaired and replaced as often as necessary to ensure proper function, until all disturbed areas are permanently vegetated. The average useful life of a bale is approximately 3-4 months. Sediments trapped by the bales shall be removed to an approved upland location before the bales themselves are removed.
11. **Silt Screen to Be Recessed** Silt screen shall be recessed six inches into the ground.
12. **Maintain Silt Screen** The screen shall be maintained, repaired and replaced as often as necessary to ensure proper function, until all disturbed areas are permanently vegetated. Sediments trapped by the screen shall be removed to an approved upland location before the screen is removed.
13. **Storage of Equipment, Materials** The storage of construction equipment and materials shall be confined within the project work area and/or upland areas greater than 75 linear feet from the tidal wetland boundary.
14. **Equipment Storage Less Than 100' From the Wetland** At the Contractor Temporary Equipment Storage Area shown on sheet SK-R (and any other temporary equipment storage location), equipment must be stored within the proposed clearing limit and an absorbent tarp/mat system must be used. The absorbent tarp/mat system must ensure that inadvertent leakage of deleterious substances never reaches the ground or into the regulated wetland or water body/wetland.
15. **No Disturbance to Vegetated Tidal Wetlands** There shall be no disturbance to vegetated tidal wetlands or protected buffer areas as a result of the permitted activities.



**16. No Construction Debris in Wetland or Adjacent Area** Any debris or excess material from construction of this project shall be completely removed from the adjacent area (upland) and removed to an approved upland area for disposal. No debris is permitted in wetlands and/or protected buffer areas.

**17. Materials Disposed at Upland Site** Any demolition debris, excess construction materials, and/or excess excavated materials shall be immediately and completely disposed of on an approved upland site more than 100 feet from any regulated freshwater wetland. These materials shall be suitably stabilized so as not to re-enter any water body, wetland, or wetland adjacent area.

**18. Clean Fill Only** All fill shall consist of clean soil, sand and/or gravel that is free of the following substances: asphalt, slag, flyash, broken concrete, demolition debris, garbage, household refuse, tires, woody materials including tree or landscape debris, and metal objects. The introduction of materials toxic to aquatic life is expressly prohibited.

**19. Seeding Disturbed Areas** All areas of soil disturbance resulting from the approved project shall be stabilized with appropriate vegetation (grasses, etc.) immediately following project completion or prior to permit expiration, whichever comes first. If the project site remains inactive for more than 48 hours or planting is impractical due to the season, then the area shall be stabilized with straw or hay mulch or jute matting until weather conditions favor germination.

**20. Conformance With Plans** All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by Rising Tide/Waterfront Solutions, last revised February 5, 2019, and stamped NYSDEC-approved on June 19, 2019.

**21. State Not Liable for Damage** The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

**22. State May Order Removal or Alteration of Work** If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.



**23. State May Require Site Restoration** If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.

**24. Precautions Against Contamination of Waters** All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.

**GENERAL CONDITIONS - Apply to ALL Authorized Permits:**

**1. Facility Inspection by The Department** The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

**2. Relationship of this Permit to Other Department Orders and Determinations** Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

**3. Applications For Permit Renewals, Modifications or Transfers** The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator  
NYSDEC Region 1 Headquarters  
SUNY @ Stony Brook 50 Circle Rd  
Stony Brook, NY 11790 -3409



**4. Submission of Renewal Application** The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Freshwater Wetlands, Tidal Wetlands.

**5. Permit Modifications, Suspensions and Revocations by the Department** The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

- a. materially false or inaccurate statements in the permit application or supporting papers;
- b. failure by the permittee to comply with any terms or conditions of the permit;
- c. exceeding the scope of the project as described in the permit application;
- d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;
- e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

**6. Permit Transfer** Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

## NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

### **Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification**

The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

### **Item B: Permittee's Contractors to Comply with Permit**

The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.



**Item C: Permittee Responsible for Obtaining Other Required Permits**

The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

**Item D: No Right to Trespass or Interfere with Riparian Rights**

This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.



**NOTICE OF COMMENCEMENT OF CONSTRUCTION**



RETURN THIS FORM TO: COMPLIANCE Or Fax to: 631-444-0272  
Bureau of Habitat-Freshwater Wetlands - NYSDEC  
50 Circle Road  
Stony Brook, NY 11790-3409

PERMIT NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

PERMITTEE NAME & PROJECT ADDRESS: \_\_\_\_\_  
\_\_\_\_\_

CONTRACTOR NAME & ADDRESS: \_\_\_\_\_  
\_\_\_\_\_

TELEPHONE: \_\_\_\_\_

Dear Sir:

Pursuant to the special conditions of the referenced permit, you are hereby notified that the authorized activity shall commence on \_\_\_\_\_. We certify that we have read the referenced permit and approved plans and fully understand the authorized project and all permit conditions. We have inspected the project site and can complete the project as described in the permit and as depicted on the approved plans. We can do so in full compliance with all plan notes and permit conditions. The permit, permit sign, and approved plans will be available at the site for inspection in accordance with General Condition No. 1. (Both signatures required)

PERMITTEE: \_\_\_\_\_ DATE \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ DATE \_\_\_\_\_

**THIS NOTICE MUST BE SENT TO THE ABOVE ADDRESS AT LEAST TWO DAYS PRIOR TO COMMENCEMENT OF THE PROJECT AND /OR ANY ASSOCIATED ACTIVITIES. FAILURE TO RETURN THIS NOTICE, POST THE PERMIT SIGN, OR HAVE THE PERMIT AND APPROVED PLANS AVAILABLE AT THE WORK SITE FOR THE DURATION OF THE PROJECT MAY SUBJECT THE PERMITTEE AND/OR CONTRACTOR TO APPLICABLE SANCTIONS AND PENALTIES FOR NON-COMPLIANCE WITH PERMIT CONDITIONS.**

Cut along this line X X X X X X X X

**NOTICE OF COMPLETION OF CONSTRUCTION**

RETURN THIS FORM TO: COMPLIANCE Or Fax to: 631-444-0272  
Bureau of Habitat- Freshwater Wetlands - NYSDEC  
50 Circle Road  
Stony Brook, NY 11790-3409



PERMIT NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

PERMITTEE NAME & PROJECT ADDRESS: \_\_\_\_\_  
\_\_\_\_\_

CONTRACTOR NAME & ADDRESS: \_\_\_\_\_  
\_\_\_\_\_

TELEPHONE: \_\_\_\_\_

Pursuant to special conditions of the referenced permit, you are hereby notified that the authorized activity was completed on \_\_\_\_\_. We have fully complied with the terms and conditions of the permit and approved plans. (Both signatures required)

PERMITTEE: \_\_\_\_\_ DATE \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ DATE \_\_\_\_\_

**THIS NOTICE, WITH PHOTOGRAPHS OF THE COMPLETED WORK AND/OR A COMPLETED SURVEY, AS APPROPRIATE, MUST BE SENT TO THE ABOVE ADDRESS WITHIN 30 DAYS OF COMPLETION OF THE PROJECT.**

**NOTICE OF COMMENCEMENT OF CONSTRUCTION**

**RETURN THIS FORM TO: COMPLIANCE**

**Or Fax to: 631-444-0297**

Bureau of Marine Habitat Protection - NYSDEC  
50 Circle Road  
Stony Brook, NY 11790-3409



PERMIT NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

PERMITTEE NAME & PROJECT ADDRESS: \_\_\_\_\_  
\_\_\_\_\_

CONTRACTOR NAME & ADDRESS: \_\_\_\_\_  
\_\_\_\_\_

TELEPHONE: \_\_\_\_\_

Dear Sir: \_\_\_\_\_

Pursuant to the special conditions of the referenced permit, you are hereby notified that the authorized activity shall commence on \_\_\_\_\_. We certify that we have read the referenced permit and approved plans and fully understand the authorized project and all permit conditions. We have inspected the project site and can complete the project as described in the permit and as depicted on the approved plans. We can do so in full compliance with all plan notes and permit conditions. The permit, permit sign, and approved plans will be available at the site for inspection in accordance with General Condition No. 1. (Both signatures required)

PERMITEE: \_\_\_\_\_ DATE \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ DATE \_\_\_\_\_

*THIS NOTICE MUST BE SENT TO THE ABOVE ADDRESS AT LEAST TWO DAYS PRIOR TO COMMENCEMENT OF THE PROJECT AND /OR ANY ASSOCIATED ACTIVITIES. FAILURE TO RETURN THIS NOTICE, POST THE PERMIT SIGN, OR HAVE THE PERMIT AND APPROVED PLANS AVAILABLE AT THE WORK SITE FOR THE DURATION OF THE PROJECT MAY SUBJECT THE PERMITTEE AND/OR CONTRACTOR TO APPLICABLE SANCTIONS AND PENALTIES FOR NON-COMPLIANCE WITH PERMIT CONDITIONS.*

Cut along this line X X X X X X X

**NOTICE OF COMPLETION OF CONSTRUCTION**

**RETURN THIS FORM TO: COMPLIANCE**

**Or Fax to: 631-444-0297**

Bureau of Marine Habitat Protection - NYSDEC  
50 Circle Rd.  
Stony Brook, NY 11790-3409



PERMIT NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

PERMITTEE NAME & PROJECT ADDRESS: \_\_\_\_\_  
\_\_\_\_\_

CONTRACTOR NAME & ADDRESS: \_\_\_\_\_  
\_\_\_\_\_

TELEPHONE: \_\_\_\_\_

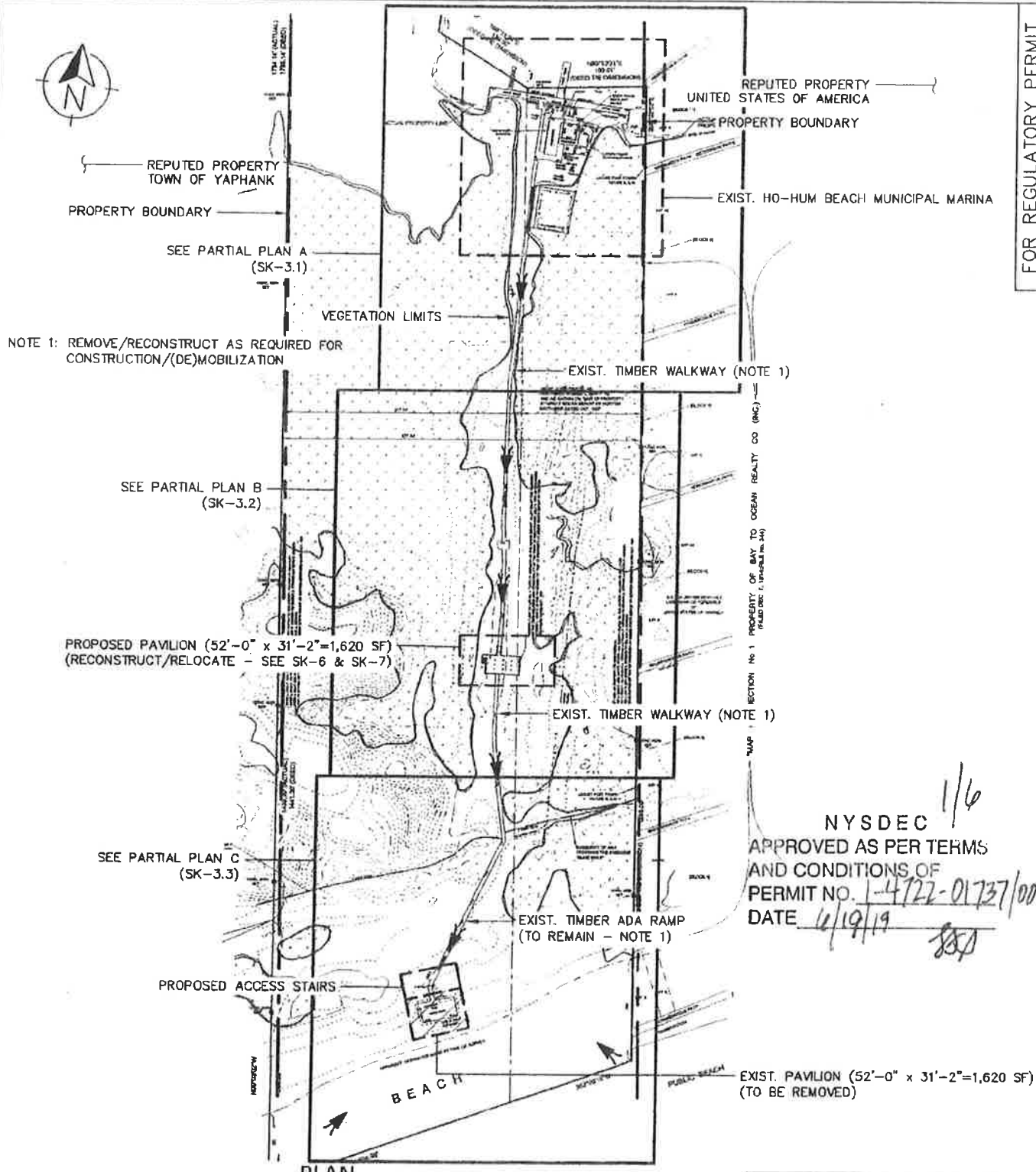
Pursuant to special conditions of the referenced permit, you are hereby notified that the authorized activity was completed on \_\_\_\_\_. We have fully complied with the terms and conditions of the permit and approved plans. (Both signatures required)

PERMITEE: \_\_\_\_\_ DATE \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ DATE \_\_\_\_\_

*THIS NOTICE, WITH PHOTOGRAPHS OF THE COMPLETED WORK AND/OR A COMPLETED SURVEY, AS APPROPRIATE, MUST BE SENT TO THE ABOVE ADDRESS WITHIN 30 DAYS OF COMPLETION OF THE PROJECT.*

FOR REGULATORY PERMIT NOT FOR CONSTRUCTION



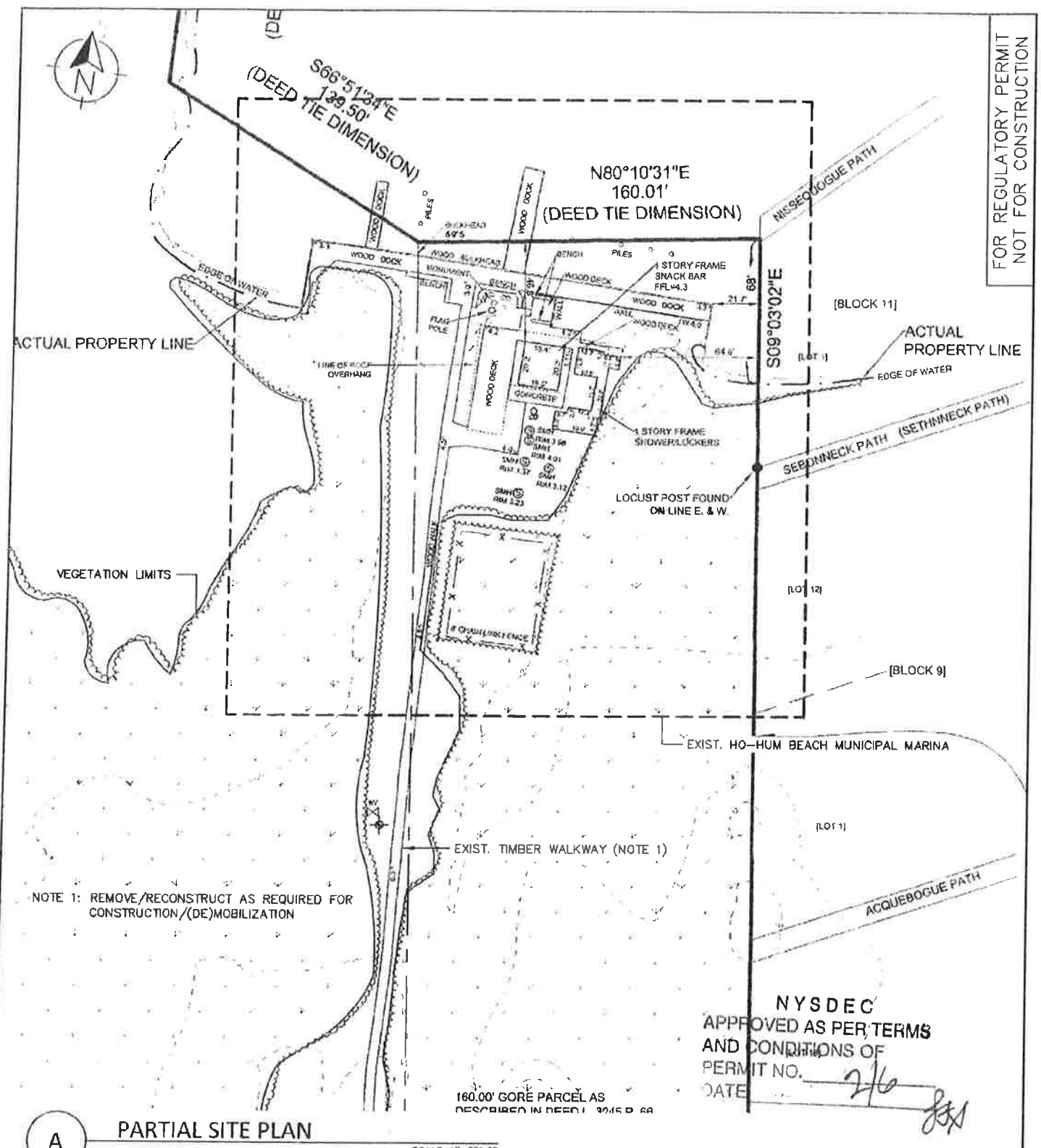
PLAN  
PROJECT SITE  
SCALE: 1"=180'-0"

LEGEND:  
➔ PROPOSED (DE)MOBILIZATION ROUTE

REF: BOUNDARY AND TOPOGRAPHIC SURVEY NELSON & POPE 2018

SHEET NO.  <b>SK-3</b>	PROJECT NO. P180212.01	PROJECT HO-HUM BEACH PAVILION RECONSTRUCTION PREPARED FOR VILLAGE OF BELLPORT LOCATED AT HO-HUM BEACH, FIRE ISLAND  BROOKHAVEN, NY ATLANTIC OCEAN SUFFOLK COUNTY	SCALE 1"=180'-0"	Rising Tide   Waterfront Solutions 486 SUNRISE HIGHWAY, SUITE 102 ROCKVILLE CENTRE, NEW YORK 11570
	DRAWN BY JWK		DATE 02/05/19	
3 of 10 SHEET(S)	CHECKED BY AMA		REVISION NO. B	

FOR REGULATORY PERMIT  
NOT FOR CONSTRUCTION



NOTE 1: REMOVE/RECONSTRUCT AS REQUIRED FOR CONSTRUCTION/(DE)MOBILIZATION

NYSDEC  
APPROVED AS PER TERMS  
AND CONDITIONS OF  
PERMIT NO. 216  
DATE 02/05/19

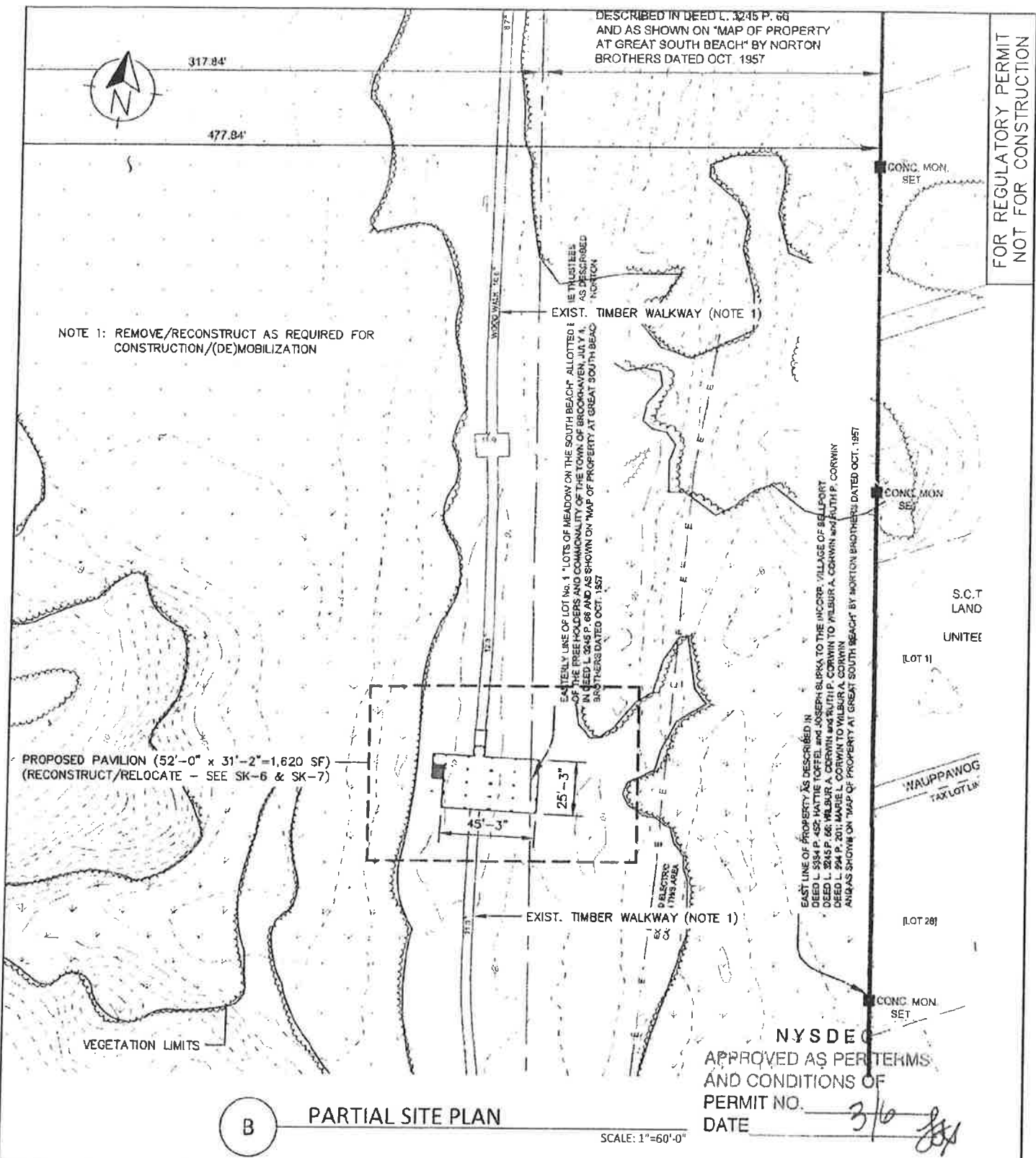
A

**PARTIAL SITE PLAN**

SCALE: 1"=60'-0"

REF: BOUNDARY AND TOPOGRAPHIC SURVEY NELSON & POPE 2018

SHEET NO. <b>SK-3.1</b> 4 of 10 SHEET(S)	PROJECT NO. P180212.01	PROJECT <b>HO-HUM BEACH PAVILION RECONSTRUCTION</b> PREPARED FOR VILLAGE OF BELLPORT LOCATED AT HO-HUM BEACH, FIRE ISLAND BROOKHAVEN, NY ATLANTIC OCEAN SUFFOLK COUNTY	SCALE 1"=60'-0"	Rising Tide   Waterfront Solutions 486 SUNRISE HIGHWAY, SUITE 102 ROCKVILLE CENTRE, NEW YORK 11570
	DRAWN BY JMK		DATE 02/05/19	
	CHECKED BY AMA		REVISION NO. B	



NOTE 1: REMOVE/RECONSTRUCT AS REQUIRED FOR CONSTRUCTION/(DE)MOBILIZATION

PROPOSED PAVILION (52'-0" x 31'-2"=1,620 SF)  
(RECONSTRUCT/RELOCATE - SEE SK-6 & SK-7)

IE THUSSES AS DESCRIBED AS SHOWN ON "MAP OF PROPERTY AT GREAT SOUTH BEACH" BY NORTON BROTHERS DATED OCT. 1957

EXIST. TIMBER WALKWAY (NOTE 1)

EASTERN LINE OF LOT No. 1 "LOTS OF MEADOW ON THE SOUTH BEACH" ALLOTTED TO THE PRINCE AND COMMONALTY OF THE TOWN OF BROOKHAVEN, JULY 4, 1854 IN DEED L. 2245 P. 66 AS SHOWN ON "MAP OF PROPERTY AT GREAT SOUTH BEACH" BY NORTON BROTHERS DATED OCT. 1957

EAST LINE OF PROPERTY IS DESCRIBED IN DEED L. 2245 P. 66 HATTIE LOEFLER AND JOSEPH P. CORWIN TO WILBUR A. CORWIN AND RUTH P. CORWIN IN DEED L. 2245 P. 66 WILBUR A. CORWIN AND RUTH P. CORWIN IN DEED L. 2245 P. 201 MARIE L. CORWIN TO WILBUR A. CORWIN AND RUTH P. CORWIN AS SHOWN ON "MAP OF PROPERTY AT GREAT SOUTH BEACH" BY NORTON BROTHERS DATED OCT. 1957

CONC. MON. SET

CONC. MON. SET

S.C.T LAND UNITEE (LOT 1)

(LOT 28)

CONC. MON. SET

WAUPPAWONG TAX LOT LINE

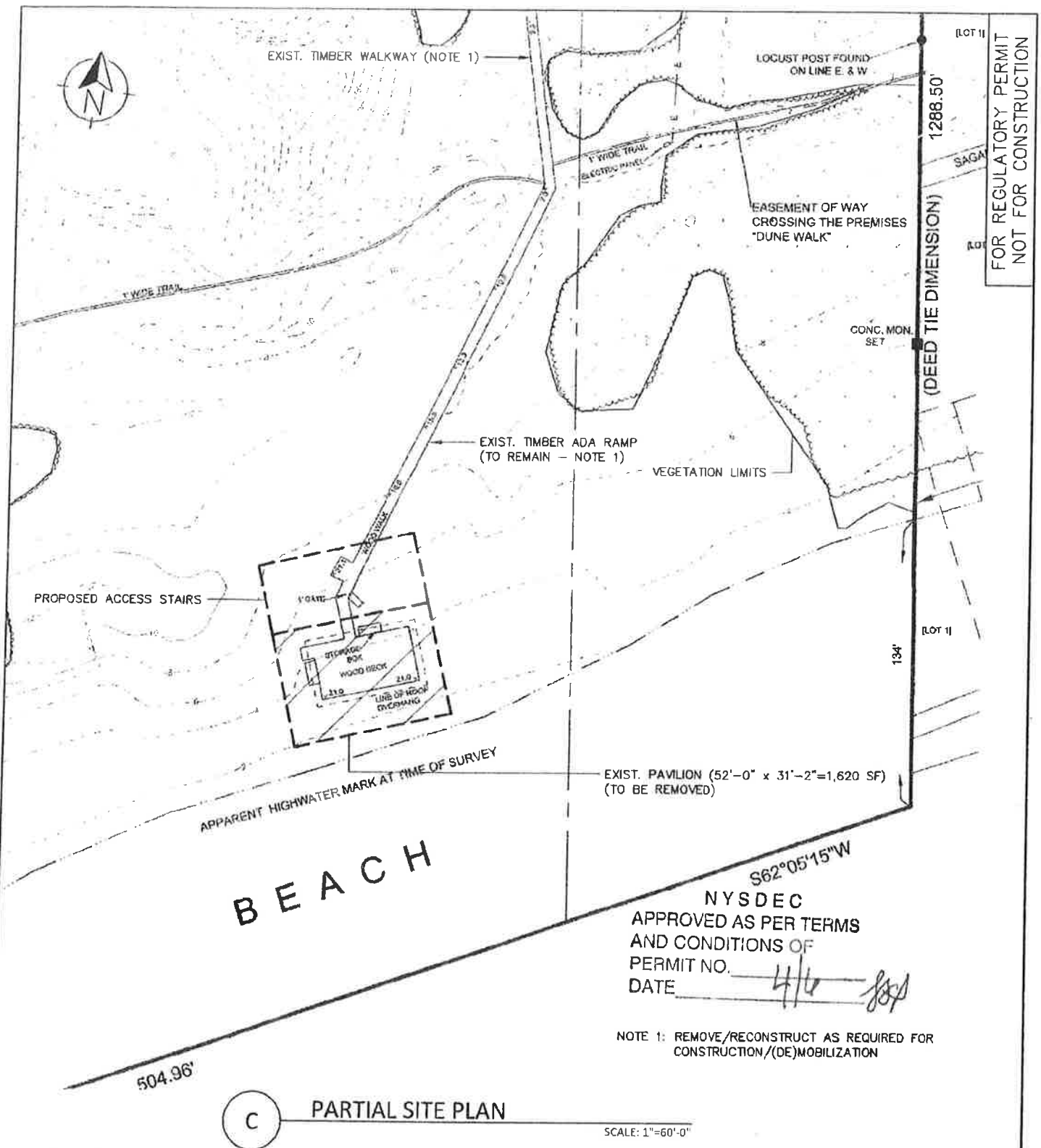
**B** PARTIAL SITE PLAN

SCALE: 1"=60'-0"

NYSDEC APPROVED AS PER TERMS AND CONDITIONS OF PERMIT NO. DATE 3/6

SHEET NO. <b>SK-3.2</b> 5 of 10 SHEET(S)	PROJECT NO. P180212.01	PROJECT HO-HUM BEACH PAVILION RECONSTRUCTION PREPARED FOR VILLAGE OF BELLPORT LOCATED AT HO-HUM BEACH, FIRE ISLAND BROOKHAVEN, NY ATLANTIC OCEAN SUFFOLK COUNTY	SCALE 1"=60'-0"	Rising Tide   Waterfront Solutions 486 SUNRISE HIGHWAY, SUITE 102 ROCKVILLE CENTRE, NEW YORK 11570 SHEET PARTIAL SITE PLAN B
	DRAWN BY JMK		DATE 02/05/19	
	CHECKED BY AMA		REVISION NO. B	

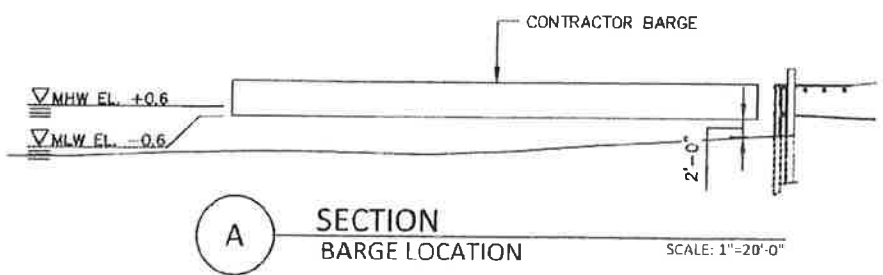
FOR REGULATORY PERMIT NOT FOR CONSTRUCTION



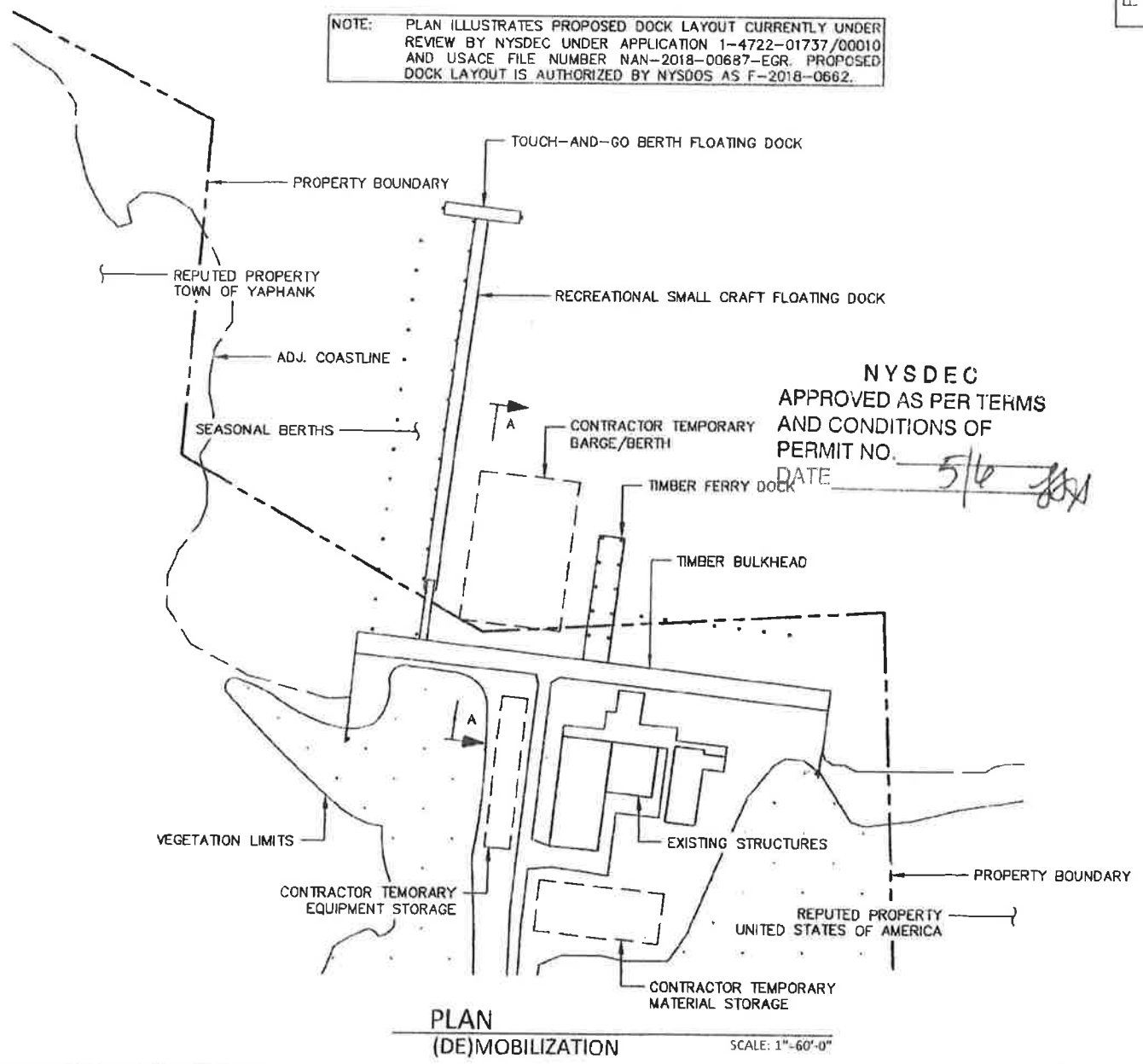
FOR REGULATORY PERMIT NOT FOR CONSTRUCTION

REF: BOUNDARY AND TOPOGRAPHIC SURVEY NELSON & POPE 2018			
SHEET NO. <b>SK-3.3</b> 6 of 10 SHEET(S)	PROJECT NO. P180212.01	PROJECT HO-HUM BEACH PAVILION RECONSTRUCTION PREPARED FOR VILLAGE OF BELLPORT LOCATED AT HO-HUM BEACH, FIRE ISLAND BROOKHAVEN, NY ATLANTIC OCEAN SUFFOLK COUNTY	SCALE 1"=60'-0"
	DRAWN BY JMK		DATE 02/05/19
	CHECKED BY AMA		REVISION NO. B
		Rising Tide   Waterfront Solutions 486 SUNRISE HIGHWAY, SUITE 102 ROCKVILLE CENTRE, NEW YORK 11570	
			SHEET PARTIAL SITE PLAN C

FOR REGULATORY PERMIT NOT FOR CONSTRUCTION



**NOTE:** PLAN ILLUSTRATES PROPOSED DOCK LAYOUT CURRENTLY UNDER REVIEW BY NYSDEC UNDER APPLICATION 1-4722-01737/00010 AND USACE FILE NUMBER NAN-2018-00687-EGR. PROPOSED DOCK LAYOUT IS AUTHORIZED BY NYS005 AS F-2018-0662.



**NYSDEC**  
 APPROVED AS PER TERMS  
 AND CONDITIONS OF  
 PERMIT NO. \_\_\_\_\_  
 DATE 5/6 *[Signature]*

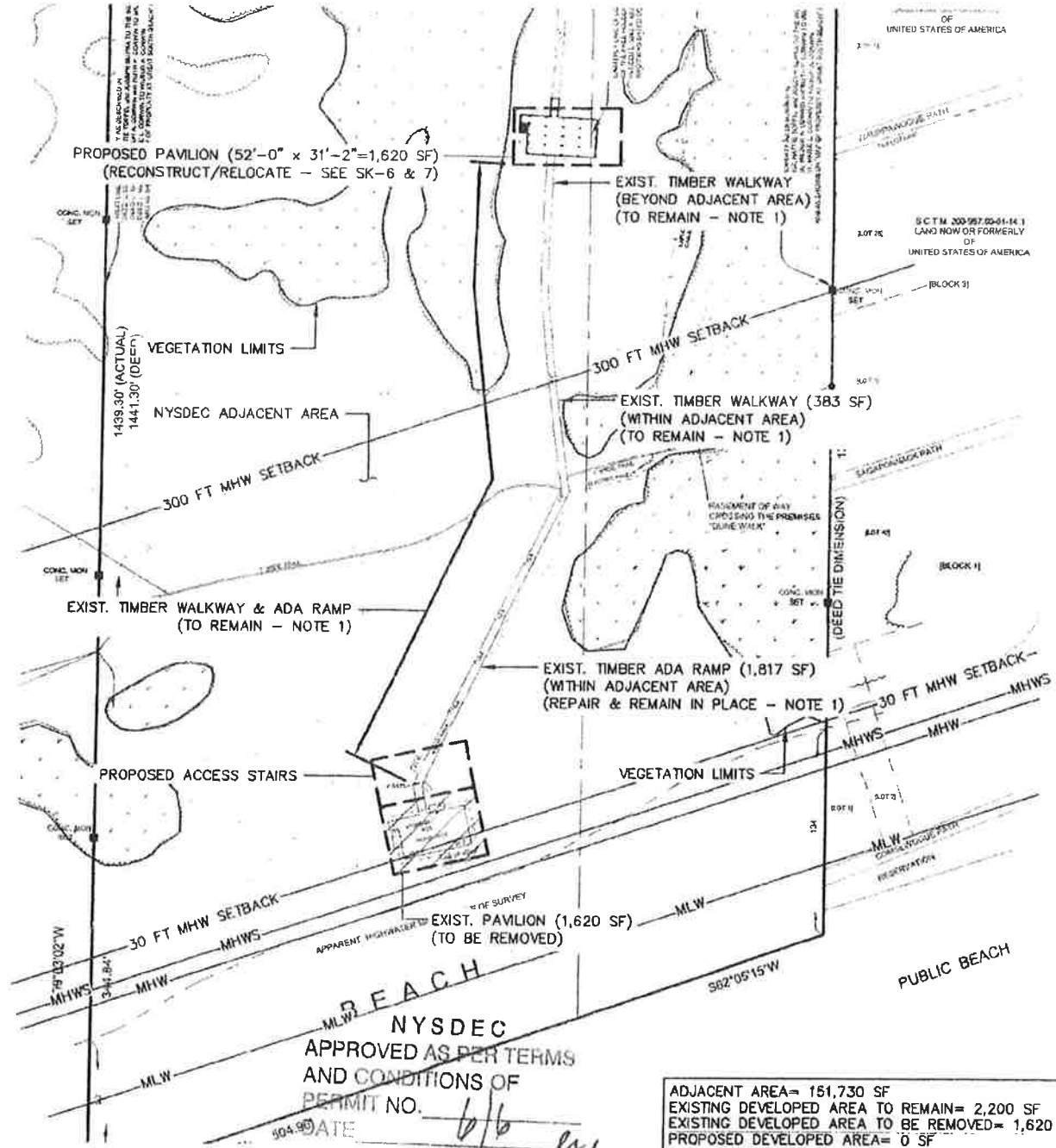
**PLAN**  
 (DE)MOBILIZATION SCALE: 1"=60'-0"

SHEET NO.  <b>SK-4</b>	PROJECT NO. P180212.01	PROJECT <b>HO-HUM BEACH PAVILION RECONSTRUCTION</b> PREPARED FOR VILLAGE OF BELLPORT LOCATED AT HO-HUM BEACH, FIRE ISLAND BROOKHAVEN, NY ATLANTIC OCEAN SUFFOLK COUNTY	SCALE 1"=60'-0"	<b>Rising Tide   Waterfront Solutions</b> 486 SUNRISE HIGHWAY, SUITE 102 ROCKVILLE CENTRE, NEW YORK 11570
	DRAWN BY JWK		DATE 02/05/19	
	CHECKED BY AMA		REVISION NO. B	
7 of 10 SHEET(S)				SHEET (DE)MOBILIZATION PLAN



NOTE 1: REMOVE/RECONSTRUCT AS REQUIRED FOR CONSTRUCTION/(DE)MOBILIZATION

FOR REGULATORY PERMIT NOT FOR CONSTRUCTION



PLAN  
PROJECT FACILITY

ADJACENT AREA= 151,730 SF  
 EXISTING DEVELOPED AREA TO REMAIN= 2,200 SF  
 EXISTING DEVELOPED AREA TO BE REMOVED= 1,620 SF  
 PROPOSED DEVELOPED AREA= 0 SF  
 NET DEVELOPED AREA= 2,200 SF  
 NET PERCENT DEVELOPED= 1%

1"=100'-0"

REF: BOUNDARY AND TOPOGRAPHIC SURVEY NELSON & POPE 2018

SHEET NO.  <b>SK-5</b>  8 of 10 SHEET(S)	PROJECT NO. P180212.01	PROJECT HO-HUM BEACH PAVILION RECONSTRUCTION PREPARED FOR VILLAGE OF BELLPORT LOCATED AT HO-HUM BEACH, FIRE ISLAND BROOKHAVEN, NY ATLANTIC OCEAN SUFFOLK COUNTY	SCALE 1"=100'-0"	Rising Tide   Waterfront Solutions 486 SUNRISE HIGHWAY, SUITE 102 ROCKVILLE CENTRE, NEW YORK 11570 SHEET PAVILION RELOCATION PLAN
	DRAWN BY JWK		DATE 02/05/19	
	CHECKED BY AMA		REVISION NO. 8	





Department of  
Environmental  
Conservation

# NOTICE

The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Departmental conditions on it, contact the Regional Permit Administrator listed below. Please refer to the permit number shown when contacting the DEC.

Regional Permit Advisor

**SUSAN ACKERMAN**

NYSDEC - ENV. PERMITS  
SUNY@STONY BROOK  
50 CIRCLE ROAD  
STONY BROOK, NY 11790-3409

Permit Number

1-4722-01737/00013

Expiration Date

6/18/2024

NOTE: This notice is **NOT** a permit

# BROWNIE COMPANIES

Est. 1922

Mail: PO Box 128 Blue Point, NY 11715  
NY Phone: 631-605-0494

Toll Free: 1 (855) You-Lift  
E-Mail: [JEREMY@BROWNIENY.COM](mailto:JEREMY@BROWNIENY.COM)  
Web: [WWW.NYHOUSELIFTING.COM](http://WWW.NYHOUSELIFTING.COM)

## Proposal / Estimate

11/20/2021

Village of Bellport

29 Bellport Lane

Bellport, NY 11713

Raymond Fell

RE: HO Hum Beach Pavilion-Demolition

	\$
	\$
Demolish 25'x45' pavilion structure	\$
Remove existing ramp sections, piles, girders approx. 150 LF	\$
Remove existing cross bracing	\$
Exact scope of work and contract to be agreed upon prior to start	\$

No site work or landscape is included, buried or unforeseen objects or debris will be billed additional.  
All permits, NPS permits, DEC clearances, etc. by others not included.  
One mobilization and demobilization down beach from Davis Park.

Amount ----- \$ 79,750.00

**Payment Terms:**

20% at contract acceptance; 60% due upon elevation; 20% balance before lowered on to new foundation.  
Contract / bid amounts are in U.S.

**Exclusions:**

Any and All utility disconnects and reconnects, landscape removal and replacement, portable toilets, dumpsters, additional insurance, bonds, permits, security clearances.

Jeremy Brownie



Date: 11/20/2021

# BROWNIE COMPANIES

Est. 1922

Mail: PO Box 128 Blue Point, NY 11715  
NY Phone: 631-605-0494

Toll Free: 1 (855) You-Lift  
E-Mail: [JEREMY@BROWNIENY.COM](mailto:JEREMY@BROWNIENY.COM)  
Web: [WWW.NYHOUSELIFTING.COM](http://WWW.NYHOUSELIFTING.COM)

## Proposal / Estimate

11/20/2021

Village of Bellport

29 Bellport Lane

Bellport, NY 11713

Raymond Fell

RE: HO Hum Beach Pavilion-Move and Foundation

Elevate and move 25'x45' pavilion structure approximately 500' north	\$
Remove and Install approximately 32 - 10" dia x 30' piles	\$
Install approximately 175LF of new 2-3x12 Girders	\$
Remove and Install existing ramp sections, piles, girders approx. 150 LF	\$
Remove and Install existing cross bracing	\$
Exact scope of work and contract to be agreed upon prior to start	\$

No site work or landscape is included, buried or unforeseen objects or debris will be billed additional.  
All permits, NPS permits, DEC clearances, etc. by others not included.  
One mobilization and demobilization down beach from Davis Park.

Amount -----\$ 187,750.00

**Payment Terms:**

20% at contract acceptance; 60% due upon elevation; 20% balance before lowered on to new foundation.

Contract / bid amounts are in U.S.

**Exclusions:**

Any and All utility disconnects and reconnects, landscape removal and replacement, portable toilets, dumpsters, additional insurance, bonds, permits, security clearances.

Jeremy Brownie



Date: 11/20/2021

# DAVIS CONSTRUCTION BUILDING MOVERS

30 Barteau Avenue, Blue Point, NY 11715  
(631) 288-1881 · Info@DavisBuildingMovers.com

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## ESTIMATE

Project address:  
Bellport Beach Pavilion

Scope:  
To move pavilion to temporary location half way between the bay and the ocean and stage on temporary cribbing.

\$60,000

To remove pilings and stack and store next to pavilion at temporary location.

\$15,000

Does not include permits or permission from DEC to cross dunes. Any fines or violations incurred by crossing dunes are not included and must be paid by others. Does not include moving to final location, new pile location, prevailing wage, any other debris removal.

### Exclusions:

- Price not including foundation, pilings, trucking of materials off site, debris removal, dumpsters, demolition unless otherwise noted
- All prep work to be completed by others prior to our start
- Landscaping around structure to be removed and relocated by others
- Plumbing, electrical, HVAC, gas, water and sewer disconnects by others prior to our start
- Permits and utility work by others
- Exclusions: plumbing, electrical, carpentry, masonry, excavation, landscaping, or tree removal**
- Price pending final plans and final site visit**

*This document is for estimating purposes only. This is NOT a binding contract. This estimate is for completing the job as described above. It is based on our evaluation and does not include material price increases or additional labor and materials which may be required should unforeseen problems or adverse weather conditions arise after the work has started. This estimate is good for 60 days.*

# Village of Bellport

## Sample Budget: Ho Hum Pavilion

	Take Away	Move
Contractor Quote to Move:	79,750	187,750
Soft Costs at 15%:	11,963	28,163
USACE Study:	2,000	2,000
Contingency at 20%:	15,950	37,550
<b>Estimated Total:</b>	<b>109,663</b>	<b>255,463</b>

BVPF Contribution:

???

NUMBER

41

Exhibit: #8



*New York State  
Archives*

# Retention and Disposition of Records

How Long to Keep  
Records and How  
to Destroy Them

04.02.2021



The University of the State of New York  
The State Education Department  
New York State Archives  
Government Records Services  
Albany, New York 12230  
[www.archives.nysed.gov](http://www.archives.nysed.gov)

# THE UNIVERSITY OF THE STATE OF NEW YORK

## Regents of The University

LESTER W. YOUNG, JR., <i>Chancellor</i> , B.S., M.S., Ed.D. ....	Beechhurst
ROGER TILLES, B.A., J.D. ....	Manhasset
CHRISTINE D. CEA, B.A., M.A., Ph.D. ....	Staten Island
WADE S. NORWOOD, B.A. ....	Rochester
KATHLEEN M. CASHIN, B.S., M.S., Ed.D. ....	Brooklyn
JAMES E. COTTRELL, B.S., M.D. ....	New York
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### Commissioner of Education and President of The University

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### Assistant Commissioner for Archives and State Archivist

THOMAS J. RULLER

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December 6, 2021

## Update: Jason Crane, DPW Superintendent

Infrastructure:	DPW Estimate:	Comments:
<b>Issues at Village Hall</b>		
Building façade, Cedar Shakes/Shingles	5,000	Water/Termite Damage
ADA Ramp	35,000	Senior Grant Funds (\$35K), Design
Roof, damaged by storm	15,000	"Tornado"
Electric Service	5,000	Service Panel is Corroded
Burn – Oil to Gas Conversion	15,000	Oil is leaking in the Burner
<b>Grill Room – Heating, Ventilation, Air Conditioning (HVAC)</b>		
Roof Leak in Men's Room	1,000	
New Storage Tank for Hot Water	6,000	Completed in November
Two Oil Burners* - 70% Heat/Hot Water for Grill Room	50,000	to \$100,000
Oil Tank Removal		
HVAC and Air Handlers		
<b>Caterer – Heat/Hot Water</b>		
One Oil Burner* - 30% Heat and Hot Water (Foyer, Lavatories, Bride's Powder Room/Lavatory)		
Oil Tank Removal		
Flat Roof – Leaking (Caterer has been patching)	???	Cost to be determined
<b>DPW Yard – Damage due to Wind Storm/"Tornado"</b>		
Roof Replacement on South Shop	30,000	
Roof Replacement on Main Building	25,000	
<b>Payloader Repair</b>		
Pistons	8,000	
Brakes		
<b>Total:</b>	<b>155,000</b>	<b>to 205,000</b>

THE SENATE  
STATE OF NEW YORK



**ALEXIS WEIK**  
SENATOR, 3<sup>RD</sup> DISTRICT

EXHIBIT: 10

Albany Office  
Legislative Office Bldg.  
Room 413  
Albany, NY 12247  
Phone: (518) 455-2950  
Fax: (518) 426-6781

District Office  
90-B West Main Street  
Patchogue, NY 11772  
Phone: (631) 360-3356  
Fax: (631) 289-1035

Email  
weik@nysenate.gov

Veterans, Homeland Security  
and Military Affairs  
Women's Issues

November 23, 2021

Hon. Raymond Fell  
Mayor, Village of Bellport  
29 Bellport Lane  
Bellport, New York 11713

Dear Mayor Fell,

I am in receipt of your letters requesting State and Municipal (SAM) Grant funding for capital improvements to Colonial Lane, Circuit Road, and Bieselin Road to be included in this year's State Budget.

Please know that I will advocate that each of these critically important road improvement projects be funded in this year's Budget. Additionally, these projects may be eligible for infrastructure funding from the federal government's recently passed Infrastructure Legislation. We should be receiving information soon on how that money will be distributed within New York State.

In the interim, if I can be of any assistance to you or your office, please contact me at your convenience.

Sincerely,

ALEXIS WEIK  
Member of the Senate

RECEIVED  
VILLAGE OF BELLPORT  
2021 NOV 29 A 10:07

THE SENATE  
STATE OF NEW YORK



**ALEXIS WEIK**  
SENATOR, 3<sup>RD</sup> DISTRICT

Ranking Minority Member  
Budget and Revenue  
Social Services

Committees  
Civil Service and Pensions  
Education  
Veterans, Homeland Security  
and Military Affairs  
Women's Issues

Albany Office

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Phone: (631) 360-3356  
Fax: (631) 289-1035

Email

weik@nysenate.gov

November 23, 2021

Hon. Raymond Fell  
Mayor, Village of Bellport  
29 Bellport Lane  
Bellport, New York 11713

Hon. Paul V. Pontieri  
Mayor, Village of Patchogue  
14 Baker Street #6  
Patchogue, New York 11772

Dear Mayors Fell and Pontieri,

I am in receipt of your letter dated November 21, requesting a \$175,000 State and Municipal (SAM) Grant for a bucket truck to be shared between your two municipalities.

Please know that I will advocate that your request be included in this year's State Budget. I will keep you apprised of the status as we get closer to the April 1 State Budget deadline. In the meantime, if I can of any assistance to you or your offices please contact me at your convenience.

I look forward to our continued partnership on behalf of the residents of Bellport and Patchogue.

Sincerely,

ALEXIS WEIK  
Member of the Senate

RECEIVED  
VILLAGE OF BELLPORT  
2021 NOV 29 A 10:07

# VILLAGE OF BELLPORT

**MAYOR  
RAYMOND FELL**

**DEPUTY MAYOR  
ROBERT ROSENBERG**

**TRUSTEES  
MICHAEL FERRIGNO  
STEVE MACKIN  
MAUREEN VEITCH**



**VILLAGE CLERK  
JOHN E. KOCAY**

**VILLAGE ATTORNEY  
DAVID J. MORAN**

November 10, 2021

The Honorable Alexis Weik  
New York State Senate – 3<sup>rd</sup> Senate District  
188 State Street  
Legislative Office Building – Room 413  
Albany, New York, 12247

Re: State & Municipal Facilities Program Funding – Village of Bellport

Dear Senator Weik,

The Village of Bellport is seeking grant funding under the State and Municipal Facilities Program, or any other relevant program for three infrastructure projects on Bieselin Road, located in your district within the Village of Bellport. We are requesting that funding for the projects to be included in the 2022-2023 New York State Budget.

The four projects address infrastructure issues on Bieselin Road:

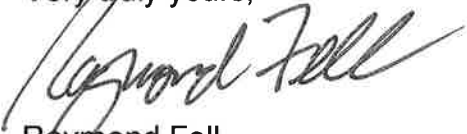
1. Repaving of Bieselin Road:
  - a. Bieselin Road is .78 of a mile road that runs North from South Country Road to the Northern Boundary of the Village ending on Head of the Neck Road. The road was last paved 28 years ago and is in need of repaving.
2. Storm Drains on Bieselin Road:
  - a. Bieselin Road has 25 storm drains that need to be replaced. Bieselin Road was originally constructed in the early 1950's and the storm drains that were installed are 70 years old and need to be replaced.

3. Curbing on Bieselin Road:
  - a. Several hundred feet of curbing must be replaced. The curbing that must be replaced is around the storm drains and at intersections.
  
4. Speed calming measurers on Bieselin Road:
  - a. Bieselin Road is a Village owned road which is .78 of a mile in length; it is a straight run and speeding is a problem; to help control the speeding the Village will install speed humps.

Construction Description	Cost
1. .78 of a mile of roadway to be milled	\$50,000
2. Replace .78 of a mile of roadway	\$350,000
3. Replacement of 25 Drains	\$ 100,000
4. Curbing Replacement	\$125,000
5. Install Speed Calming Measures	\$50,000
<b>TOTAL COST</b>	<b>\$625,000</b>

Thank you for your consideration.

Very truly yours,



Raymond Fell  
Mayor

Cc: John Kocay, Village Clerk

# VILLAGE OF BELLPORT

**MAYOR  
RAYMOND FELL**

**DEPUTY MAYOR  
ROBERT ROSENBERG**

**TRUSTEES  
MICHAEL FERRIGNO  
STEVE MACKIN  
MAUREEN VEITCH**



**VILLAGE CLERK  
JOHN E. KOCAJ**

**VILLAGE ATTORNEY  
DAVID J. MORAN**

November 10, 2021

The Honorable Alexis Weik  
New York State Senate – 3<sup>rd</sup> Senate District  
188 State Street  
Legislative Office Building – Room 413  
Albany, New York 12247

Re: State & Municipal Facilities Program Funding – Village of Bellport

Dear Senator Weik,

The Village of Bellport is seeking grant funding under the State and Municipal Facilities Program, or any other relevant program for three infrastructure projects on Colonial Lane, located in your district within the Village of Bellport. We are requesting that funding for the projects to be included in the 2022-2023 New York State Budget.

The three projects address infrastructure issues on Colonial Lane:

1. Repaving & Milling on Colonial Lane:
  - a. Colonial Lane is .79 of a mile road that runs North from South Country Road with an “S” turn North of Kreamer Street up to the Northern Boundary of the Village ending on Head of the Neck Road. The road was last paved 30 years ago.
2. Storm Drains on Colonial Lane:
  - a. The Village will be replacing 20 storm drains that were last installed about 30 years ago with the repaving.

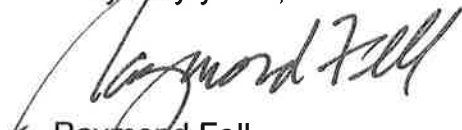
3. Speed Calming Measures on Colonial Lane:

- a. Colonial Lane is a Village own Road which is .79 of a mile in length; this roadway is a run from South Country Road to Head of the Neck Road with one stop sign and an "S" turn where speeding is a problem. To help control speeding the Village will install speed humps.

Construction Description	Cost
1. Milling and Repaving Colonial Lane	\$150,000
2. 20 Storm Drains on Colonial Lane	\$100,000
3. Speed Calming Measures on Colonial Lane	\$ 60,000
<b>Total Cost</b>	<b>\$310,000</b>

Thank you for your consideration.

Very truly yours,



Raymond Fell  
Mayor

Cc: John Kocay, Village Clerk

# VILLAGE OF BELLPORT

**MAYOR  
RAYMOND FELL**

**DEPUTY MAYOR  
ROBERT ROSENBERG**

**TRUSTEES  
MICHAEL FERRIGNO  
STEVE MACKIN  
MAUREEN VEITCH**



**VILLAGE CLERK  
JOHN E. KOCAY**

**VILLAGE ATTORNEY  
DAVID J. MORAN**

November 10, 2021

The Honorable Alexis Weik  
New York State Senate – 3<sup>rd</sup> Senate District  
188 State Street  
Legislative Office Building – Room 413  
Albany, New York, 12247

Re: State & Municipal Facilities Program Funding – Village of Bellport

Dear Senator Weik,

The Village of Bellport is seeking grant funding under the State and Municipal Facilities Program, or any other relevant program for three infrastructure projects on Circuit Road, located in your district within the Village of Bellport. We are requesting that funding for the projects to be included in the 2022-2023 New York State Budget.

The three projects address infrastructure issues on Circuit Road:

1. Repaving & Milling on Circuit Road:
  - a. Circuit Road is .78 of a mile road that runs North from South Country Road to the Northern Boundary of the Village ending on Head of the Neck Road. This road was last paved 30 years ago.
2. Sidewalks & Aprons on Circuit Road:
  - a. There are about six aprons that need to be replaced and various sections of sidewalks also that need to be replaced.



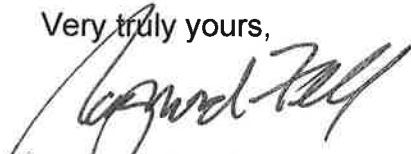
3. Speed Calming Measures on Circuit Road:

- a. Circuit Road is a straight run from South Country Road to Head of the Neck Road which is the Northern Boundary of the Village, where speeding is a problem. To control the speeding the Village will install speed humps.

Construction Description	Cost
1. Milling and Repaving Circuit Road	\$125,000
2. Sidewalks & Aprons on Circuit Road	\$300,000
3. Speed Calming Measures on Circuit Road	\$ 60,000
<b>TOTAL COST</b>	<b>\$485,000</b>

Thank you for your consideration.

Very truly yours,



Raymond Fell  
Mayor

Cc: John Kocay, Village Clerk

November 10, 2021

The Honorable Alexis Weik  
New York State Senate – 3<sup>rd</sup> Senate District  
188 State Street  
Legislative Office Building – Room 413  
Albany, New York, 12247

Re: State & Municipal Facilities Program Funding – Villages of Bellport and Patchogue

Dear Senator Weik,

The Villages of Bellport and Patchogue are seeking grant funding under the State and Municipal Facilities Program, or any other relevant program to share the purchase of a bucket truck for Bellport and Patchogue Villages. We are requesting that funding for this piece of equipment to be included in the 2022-2023 New York State Budget.

The Villages of Bellport and Patchogue request funding to purchase a Bucket Truck to be shared by the two communities. The Truck is a Freight Liner Truck with an ALTEC Bucket. The two Villages will develop a schedule for the Bucket Truck to be used in each municipality and the villages will share in the cost of any repairs and maintenance.

The Supervisors of both Municipality's Department of Public Works will be responsible for providing the proper training to their workforce in the operation of this new truck.

The cost of the truck is \$175,00 total, and both municipalities will share equal responsibility of the purchase cost.

The residents and the elected officials of the Village of Bellport and Patchogue thank you for your consideration.

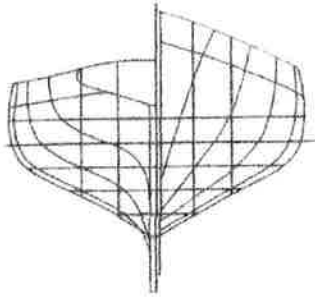
Very truly yours,

Raymond Fell  
Mayor

Paul V. Pontieri  
Mayor

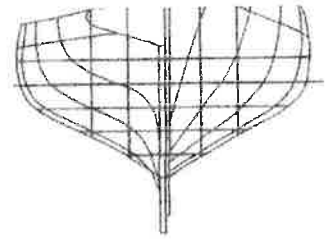
cc: John Kocay, Village Clerk

Exhibit: 11



**ML Services Corp.**  
**Mark J. Leuly** MMS

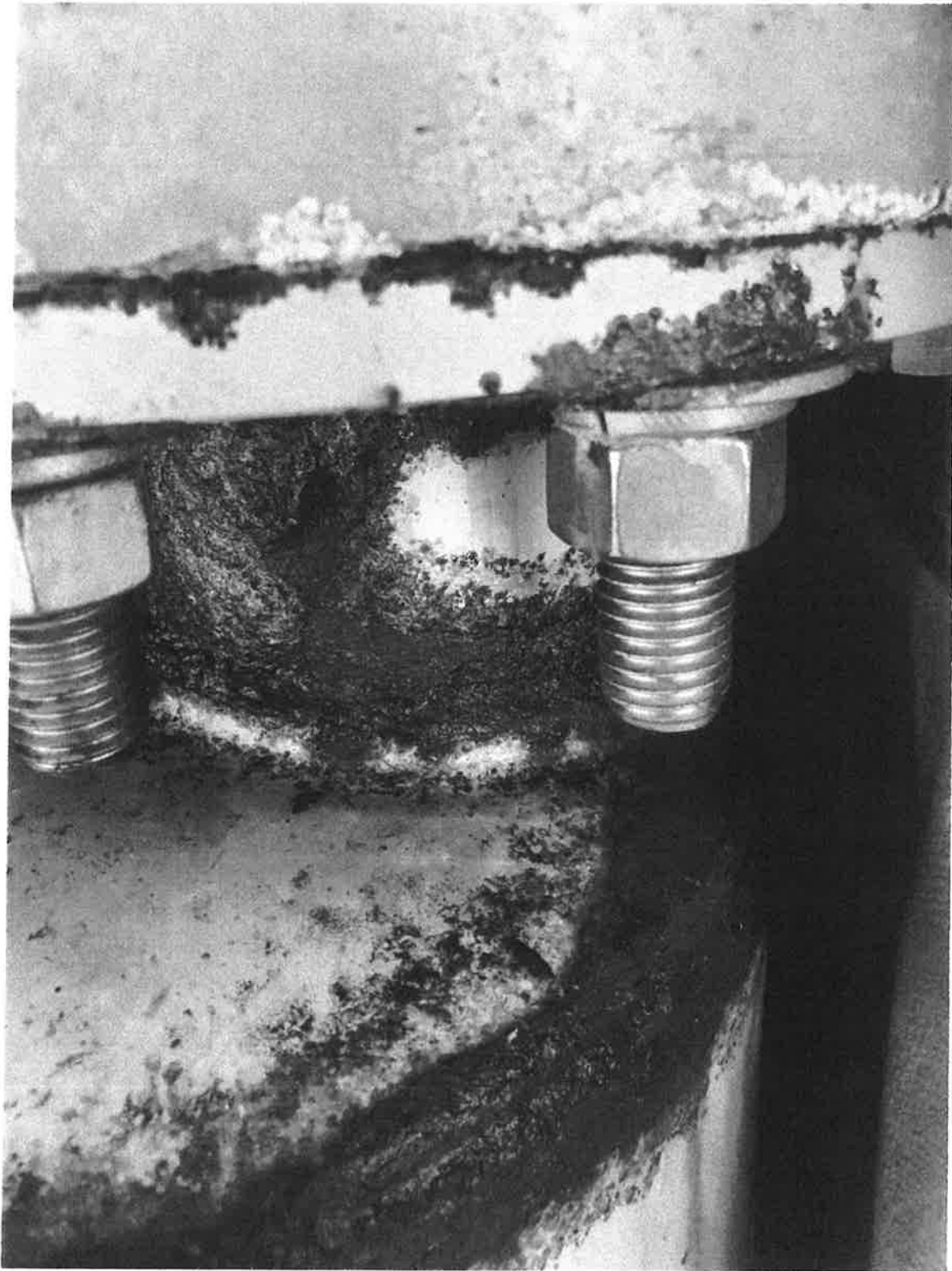
631 Middle Road  
Bayport, N. Y. 11705  
Telephone: (631) 472-5715



**December 1, 2021**

**Vessel Required Maintenance  
For  
Winter 2021 /2022**

- Replace Port and Starboard Mufflers
- Replace oil pressure piston on starboard engine
- Repair Bilge pump sea valve
- Repaint Hull
- Props Reconditioned / Rebalanced / .5 inch of pitch added
- Bottom Painted New Zinc's



Port Muffler



Starboard Muffler





Katie Mehrkens

---

Exhibit 12

**From:** marylou@bellportvillageny.gov  
**Sent:** Monday, November 15, 2021 1:01 PM  
**To:** 'Katie Mehrkens'; mayor@bellportvillageny.gov; 'John Kocay'; clerk@bellportvillageny.gov  
**Subject:** FW: Bellport Varsity Football  
**Attachments:** IMG\_1397.jpg

I received this Thank you today.

**From:** ourhumbleabode <ourhumbleabode@optonline.net>  
**Sent:** Monday, November 15, 2021 12:58 PM  
**To:** marylou@bellportvillageny.gov  
**Subject:** Bellport Varsity Football

Hi, wasn't sure where/who to send our thanks to, but thought since you're the building supervisor you'd be a good start! Just wanted to express our gratitude for allowing us to use the Community Center for our football dinner last week, as well as extending the use of the facilities for this upcoming week. Friday night dinners are an important part of the tradition that is the football program. Getting together for a meal to fuel up as well as coming together to just be together off the field is what helps keep these boys close knit, and has been part of the reason we're headed to the Suffolk County championship game this weekend. Just wanted to extend my thanks as team mom as well from the team as a whole. Thanks again, Jennifer Wilson

Sent from my T-Mobile 5G Device



